



AGENDA

ORDINARY COUNCIL MEETING

26 June 2024

NOTICE OF ORDINARY MEETING OF COUNCIL

Dear Elected Members & Community Members

Pursuant to resolution 251023.07 of 25 October 2023, an Ordinary Meeting of the Shire of Narrogin will be held on 26 June 2024 in the Shire of Narrogin Council Chambers, 89 Earl Street, Narrogin, commencing at 7:00 pm.

A handwritten signature in black ink, appearing to read "Dale Stewart".

Dale Stewart
Chief Executive Officer

Acknowledgement of Noongar People

The Shire of Narrogin acknowledges the Noongar people as traditional custodians of this land and their continuing connection to land and community. We pay our respect to them, to their culture and to their Elders past and present.

Naatj ngiyan Birdiya Gnarojin kep unna nidja Noongar Moort ngaala maya nidja boodjera baarlap djoowak karlerl koolark. Ngalak niny ngullang karnan balang Bibolman baalap borong koora wer boorda.

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Alternative formats are also available upon request, including large print,
electronic format (disk or emailed), audio or Braille



Shire of
Narrogin
Love the life

STRATEGIC COMMUNITY PLAN 2017-27

SNAPSHOT

VISION

To be a leading regional economic driver and a socially interactive and inclusive community.

MISSION

Provide leadership, direction and opportunities for the community.

KEY PRINCIPLES

In achieving the Vision and Mission, we will set achievable goals and work with the community to maintain a reputation of openness, honesty and accountability. In doing so we will:

- Respect the points of view of individuals and groups;
- Build on existing community involvement;
- Encourage community leadership;
- Promote self-reliance and initiative;
- Recognise and celebrate achievement;
- Support the principles of social justice; and
- Acknowledge the value of staff and volunteers.

OUR VALUES

Care with Trust & Teamwork

Caring - We display kindness and concern for one another and our community

Accountability - We accept responsibility for our actions and outcomes

Respect - We treat everyone how we would like to be treated

Excellence - We go the extra mile to deliver outstanding services

Trust - We share without fear of consequences

Team Work - We work together for a common goal

ECONOMIC

Support growth and progress, locally and regionally...

Growth in revenue opportunities

- Attract new industry, business, investment and encourage diversity whilst encouraging growth of local business
- Promote Narrogin and the Region
- Promote Narrogin's health and aged services including aged housing

Increased Tourism

- Promote, develop tourism and maintain local attractions

An effective well maintained transport network

- Maintain and improve road network in line with resource capacity
- Review and implement the Airport Master Plan

Agriculture opportunities maintained and developed

- Support development of agricultural services

SOCIAL

Provide community facilities and promote social interaction...

Provision of youth services

- Develop and implement a youth strategy

Build a healthier and safer community

- Support the provision of community security services and facilities
- Advocate for mental health and social support services
- Continue and improve provision of in-home care services

Existing strong community spirit and pride is fostered, promoted and encouraged

- Develop and activate Sport and Recreation Master Plan
- Engage and support community groups and volunteers
- Facilitate and support community events
- Provide improved community facilities (eg library/recreation)
- Encourage and support continued development of arts and culture

Cultural and heritage diversity is recognised

- Maintain and enhance heritage assets
- Support our Narrogin cultural and indigenous community

A broad range of quality education services and facilities servicing the region

- Advocate for increased education facilities for the region
- Advocate for and support increased education services

ENVIRONMENT

Conserve, protect and enhance our natural and built environment...

A preserved natural environment

- Conserve, enhance, promote and rehabilitate the natural environment

Effective waste services

- Support the provision of waste services

Efficient use of resources

- Increase resource usage efficiency

A well maintained built environment

- Improve and maintain built environment

CIVIC

Continually enhance the Shire's organisational capacity to service the needs of a growing community...

An efficient and effective organisation

- Continually improve operational efficiencies and provide effective services
- Continue to enhance communication and transparency

An employer of choice

- Provide a positive, desirable workplace

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Council and Committee agendas, recommendations, minutes and resolutions are subject to confirmation by the Council or Committee and therefore, prior to relying on them, one should refer to the subsequent meeting of Council or the Committee with respect to their accuracy.

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In particular and without derogating in any way from the broad disclaimer above, in any discussion regarding any planning application or application for a license, any statement or limitation or approval made by a member or officer of the Shire of Narrogin during the course of any meeting is not intended to be and is not taken as notice of approval from the Shire of Narrogin. The Shire of Narrogin warns that anyone who has an application lodged with the Shire of Narrogin must obtain and should only rely on WRITTEN CONFIRMATION of the outcome of the application, and any conditions attached to the decision made by the Shire of Narrogin in respect of the application.

Please note that meetings may be audio recorded for minute taking purposes and if applicable, in compliance with legislation.

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ORDINARY COUNCIL MEETING

26 JUNE 2024

1. OFFICIAL OPENING/ANNOUNCEMENT OF VISITORS

The Acting Presiding Member, Deputy Shire President, Councillor Broad, declared the meeting open at 7:00 pm.

2. RECORD OF ATTENDANCE/APOLOGIES/APPROVED LEAVE OF ABSENCE

Elected Members (Voting)

Cr G Broad – Deputy Shire President (Presiding Member)

Cr M Fisher

Cr C Bartron

Cr J Pomykala

Cr T Wiese

Cr R McNab

Staff

Mr D Stewart – Chief Executive Officer

Mr M Furr – Executive Manager Corporate & Community Services

Mr T Evans – Executive Manager Technical & Rural Services

Mr A Awang – Executive Manager Development & Regulatory Services

Mrs L Webb – Executive Support Coordinator

Leave of Absence

Mr L Ballard (Approved at the Council Meeting of 22 May 2024).

Apologies

Absent

Visitors

**3. DECLARATIONS OF INTEREST BY ELECTED MEMBERS AND COUNCIL EMPLOYEES
IN MATTERS INCLUDED IN THE MEETING AGENDA**

Name	Item No	Interest	Nature

4. RESPONSE TO PREVIOUS PUBLIC QUESTIONS TAKEN ON NOTICE

Nil

5. PUBLIC QUESTION TIME

6. APPLICATIONS FOR LEAVE OF ABSENCE

The next Council meeting is scheduled for 24 July 2024.

7. CONFIRMATION OF MINUTES OF PREVIOUS MEETINGS

7.1 Ordinary Council Meeting

OFFICER'S RECOMMENDATION

That the minutes of the Ordinary Council Meeting held on 22 May 2024 be confirmed as an accurate record of the proceeding.

8. ANNOUNCEMENTS BY THE PERSON PRESIDING WITHOUT DISCUSSION

9. PETITIONS, DEPUTATIONS, PRESENTATIONS OR SUBMISSIONS

10. MATTERS WHICH REQUIRE DECISIONS

10.1 DEVELOPMENT AND REGULATORY SERVICES

10.1.1 PROPOSED METEOROLOGICAL MAST AT LOT 14816 (NO 331) MARRAMUCKING ROAD, BOUNDAIN AND LOT 15482 WILLIAMS KONDININ ROAD, OCKLEY

File Reference	18.4.5
Disclosure of Interest	Neither the Author nor Authorising Officer have any Impartiality, Financial or Proximity Interests that requires disclosure.
Applicant	Lightsource Development Services Australia Pty Limited
Previous Item Numbers	Nil
Date	7 June 2024
Author	Azhar Awang – Executive Manager Development and Regulatory Services
Authorising Officer	Dale Stewart – Chief Executive Officer
Attachments 1. Development Application	

Summary

Council's consideration is requested regarding the proposal to install and operate a temporary Meteorological Mast at two proposed locations, with only one mast to be installed at any given time. The proposed Meteorological Mast will be located at the following locations:

Location Reference	Land Parcel	Certificate of Title
Met Mast Central	Lot 14816 on DP205933	LOT 14816 on deposited plan 205933 Volume LR3137 Folio 619
Met Mast East	Lot 15482 on DP171405	LOT 15482 on deposited plan 171405 Volume 405 Folio 75A

As the proposal is considered as a 'Use Not Listed' under clause 3.3.4 of the Shire of Narrogin Local Planning Scheme No. 3, it is presented to Council to determine whether such use:

- a) is consistent with the objectives of a particular zone and is therefore a use that may be permitted in the zone subject to conditions imposed by the local government; or
- b) may be consistent with the objectives of a particular zone and advertise under clause 64 of the deemed provisions before considering an application for development approval for the use of the land; or
- c) is not consistent with the objectives of a particular zone and is therefore not permitted in the zone.

Background

On 28 May 2024, the Shire of Narrogin received a Development Application for Planning Consent from Lightsource BP to install and operate a temporary Meteorological Mast at two separate locations, being Lot 14816 Marramucking Road, Boundain and Lot 15842 Williams Kondinin Road, Ockley. The applicant has advised that only one mast will be installed at any given time and will be in place for approximately one year before being relocated to the alternative location. Over the course of two years, both locations will be used to assess wind speed.

The purpose of the mast is to record site-specific weather data to assist with wind and solar yield estimates for a potential hybrid renewable energy generation facility, which may include wind generation, solar power, and energy storage.

The proposed mast will be of steel lattice design with a height of up to 160m, supported by guy wires and consist of the following components:

- A steel lattice framework;
- Mounting boom for meteorological monitoring equipment;
- Guy-fixing system (including anchor footings and guy wires);
- Data and electrical cabling; and
- Potential bushfire detection camera.

Consultation

Clause 3.3.4(b) of the Shire of Narrogin Local Planning Scheme No. 3, where a use that is not specifically referred to in the zoning table and that cannot reasonably be determined as falling within a use class referred to in the zoning table Council may:

- (a) determine that the use may be consistent with the objectives of a particular zone and advertise under clause 64 of the deemed provisions before considering an application for development approval for the use of the land.

Clause 64(1)(a) of the deemed provisions in the Planning and Development (Local Planning Schemes) Regulations 2015 states:

(1) The local government —

(a) must advertise a complex application for development approval in accordance with subclause (3);

(3) For the purposes of subclause (1)(a), a complex application is advertised by doing all of the following —

(a) publishing in accordance with clause 87 —

- (i) a notice of the proposed development in the form set out in clause 86(3); and*
- (ii) the application for development approval; and*
- (iii) any accompanying material in relation to the application that the local government considers should be published;*

(b) giving notice of the proposed development —

- (i) to the owners and occupiers of every property that is within 200 m of the proposed development; and*

(ii) to any other owners and occupiers of properties in the vicinity of the proposed development who, in the opinion of the local government, are likely to be affected by the granting of development approval;

(c) erecting, in the manner and form approved by the Commission, a sign or signs in a conspicuous place on the land the subject of the application giving notice of the proposed development in the form set out in clause 86(3).

Under clause 88, the Commission may approve varied requirements that apply if it is not practicable for the local government to comply with subclause (3)(b) or (c).

Given the location of the proposed mast and the fact that impacted property owners will need to be notified in writing, it is not considered practical or necessary to place a sign on the site. The requirements outlined in 3(a) and (b) are deemed reasonable and will allow for public submissions regarding the proposal.

In terms of clause 3(b)(i) and (ii) above, it is recommended that a notice be sent to the owners and occupiers of every property that is within a radius of 2klm from the location of the proposed development.

(6) The period to be specified in a notice published or given, or on a sign erected, in accordance with subclause (3) in relation to a complex application is —

(a) the period of 28 days after the day on which the notice of the application is first published under subclause (3)(a); or

(b) a longer period agreed in writing between the applicant and the local government.

complex application means —

(a) an application for approval of development that is a use of land if the use is not specifically referred to in the zoning table for this Scheme in respect of the zone in which the development is located; or

(b) an application of a kind identified elsewhere in this Scheme, or in a local planning policy, as a complex application for development approval;

It is also recommended that the proposal be sent to the following stakeholders for comments:

- Department of Fire and Emergency Services (DFES),
- Royal Flying Doctor Service (RFDS);
- Department of Primary Industries and Regional Development (DPIRD);
- Department of Biodiversity Conservation and Attractions;
- Civil Aviation Safety Authority (CASA);
- Department of Water and Environmental Regulation; and
- Western Power.

Statutory Environment

The following Acts, Regulations and Schemes that apply to this item include:

- Shire of Narrogin Local Planning Scheme No. 3;
- Planning and Development (Local Planning Schemes) Regulations 2015; and
- Planning and Development Act 2005.

Policy Implications

The Council's Policy Manual contains no policies that relate and nor are there any proposed.

Financial Implications

An Application for Planning Consent Fee of \$1,328.00 has been paid to the Shire of Narrogin.

Strategic Implications

Shire of Narrogin Strategic Community Plan 2017-2027		
Objective:	1.	Economic Objective (Support growth and progress, locally and regionally)
Outcome:	1.1	Growth in revenue opportunities
Strategy:	1.1.1	Attract new industry, business, investment and encourage diversity whilst encouraging growth of local business
Outcome:	3.4	A well maintained built environment
Strategy:	3.4.1	Improve and maintain built environment

Risk Implications

Risk	Risk Likelihood	Risk Impact / Consequence	Risk Rating	Principal Risk Theme	Risk Action Plan (Controls or Treatment proposed)
That the Council determine that the 'use not listed' is inconsistent with the objectives of the Zone, which would probably be appealed due to Councils previous decision to support a similar mast some two (2) years preceding.	Unlikely (2)	Moderate (3)	Medium (5-9)	Engagement Practices	That Council acknowledge its previous decision and is consistent with that approach.

Risk Matrix

Consequence		Insignificant	Minor	Moderate	Major	Catastrophic
Likelihood		1	2	3	4	5
Almost Certain	5	Medium (5)	High (10)	High (15)	Extreme (20)	Extreme (25)
Likely	4	Low (4)	Medium (8)	High (12)	High (16)	Extreme (20)
Possible	3	Low (3)	Medium (6)	Medium (9)	High (12)	High (15)
Unlikely	2	Low (2)	Low (4)	Medium (6)	Medium (8)	High (10)
Rare	1	Low (1)	Low (2)	Low (3)	Low (4)	Medium (5)

A risk is often specified in terms of an event or circumstance and the consequences that may flow from it. An effect may be positive, negative or a deviation from the expected and may be related to the following objectives; occupational health and safety, financial, service interruption, compliance, reputation and environment. A risk matrix has been prepared and a risk rating of six (6) has been determined for this item. Any items with a risk rating over 10 or greater (considered to be high or extreme risk) will be added to the Risk Register, and any item with a risk rating of 16 or greater will require a specific risk treatment plan to be developed.

Comment/Conclusion

Lot 14816 Marramucking Road, Boundain and Lot 15842 Williams Kondinin Road, Ockley are zoned "Rural" under the Shire of Narrogin Local Planning Scheme No 3 (LPS 3)

The objectives of this zone are as follows:

- To provide for the maintenance or enhancement of specific local rural character.
- To protect broad acre agricultural activities such as cropping and grazing and intensive uses such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use.
- To maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and watercourse systems from damage.
- To provide for the operation and development of existing, future and potential rural land uses by limiting the introduction of sensitive land uses in the Rural zone.
- To provide for a range of non-rural land uses where they have demonstrated benefit and are compatible with surrounding rural uses.

Although the first four (4) objectives of the Rural zone, are not considered consistent with the proposed development of a Meteorological Mast, the fifth objective does allow for non-rural land that demonstrate benefit and compatibility with the surrounding rural land uses.

The design and placement of the meteorological mast can be made to blend with the rural landscape, preserving the visual appeal and rural character of the area. Additionally, the installation and operation of the meteorological mast are considered compatible with surrounding rural uses, causing minimal disruption to agricultural activities.

The use of Meteorological Masts is not included in the zoning table of the LPS 3. Therefore, Council may treat the proposal as a use not listed in accordance with clause 3.3.4(b) LPS 3. This clause states that when a use is not specifically referred to in the zoning table and cannot reasonably be determined as falling within a use class referred to in the zoning table, the Council may:

(b) determine that the use may be consistent with the objectives of a particular zone and advertise under clause 64 of the deemed provisions before considering an application for development approval for the use of the land.

The proposed Meteorological Mast Tower is proposed to be 160 metres high supported by guy wires. This height is significant and therefore will be required to be referred to the Civil Aviation Safety Authority for comment. In addition to this, the applicant has assessed the impact of their proposal on aviation through an Aviation Impact Statement (AIS), which has been prepared by Aviation Projects.

The AIS report highlights the following findings and recommendations for the proposed development:

- There are no CASA certified airports located within 30 nm (56 km) of the Project.
- The proposed masts are not anticipated to adversely affect the operation of aircraft at Narrogin Airport.
- In the event that the Narrogin Airport is to be upgraded to a certificated airport, then the proposed mast(s) are located beyond the circling areas and Obstacle Limitation Surfaces. If the mast data has already been advised to Airservices Australia before the Narrogin Airport upgrades to a certificated airport, the flight procedure designer will consider the mast as obstacles during design, and they will not cause any infringement.
- No Aircraft Landing Area (ALA) is identified within 3 nm of the mast sites.
- The mast will not affect any grid or airway route segment (Lowest Safe Altitude).
- The mast will not have an impact on controlled or designated airspace.
- Marking the mast is not mandatory. However, the following markings are recommended to be implemented in consideration of potential day Volunteer Fire and Rescue aerial work and military aircraft training operations in accordance with National Airports Safeguarding Framework Guideline:
 - obstacle marking for at least the top 1/3 of the mast and be painted in alternating contrasting bands of colour;
 - marker balls or high visibility flags or high visibility sleeves placed on the outside guy wires; and
 - guy wire ground attachment points in contrasting colours to the surrounding ground/vegetation.
- There is no regulatory requirement to provide obstacle lighting on the mast. Generally, for the mast that will be installed prior to Wind Turbine Generator (WTG) installation and the mast that are not in close proximity to a WTG, the voluntary provision of obstacle lighting should be considered to ensure visibility in low light and deteriorating atmospheric conditions. CASA will review the mast for potential hazards to aircraft operations and may recommend lighting the mast.
- Due to exceeding 100 m Above Ground Level (AGL), details of the mast must be reported to CASA as soon as practicable after forming the intention to construct or erect the proposed object or structure in accordance with Part 139.165(1)(2) of the *Civil Aviation Safety Regulations 1998* (Cth) (CASR). The notification should be provided to CASA via email to Aerodromes@casa.gov.au and Airspace.Protection@casa.gov.au.
- 'As constructed' details of the WMT, coordinates and elevation should be provided to Airservices Australia through email submission of the Vertical Obstruction Data Form found at webpage: https://www.airservicesaustralia.com/wpcontent/uploads/ATS-FORM-0085_Vertical_Obstruction_Data_Form.pdf, to airport.developments@airservicesaustralia.com.

Voting Requirements

Simple Majority for Parts 1 and 2.

OFFICERS' RECOMMENDATION PART 1 OF 2

That with respect to the Application for Planning Consent for the proposed Meteorological Mast Tower at Lot 14816 Marramucking Road, Boundain and Lot 15842 Williams Kondinin Road, Ockley 248 Cornwall Road, Minigin, Council determine that the proposed use is consistent with the objectives of the Rural zone and thereafter follow the advertising procedures of clause 64 of the deemed provisions of the Planning and Development (Local Planning Schemes) Regulations 2015, in considering an application for planning consent.

OFFICERS' RECOMMENDATION PART 2 OF 2

1. That in the event that no negative submissions are received during the advertising period, regarding the Application for Planning Consent for the proposed Meteorological Mast Tower at Lot 14816 Marramucking Road, Boundain and Lot 15842 Williams Kondinin Road, Ockley, Council, grant Planning Approval subject to the following conditions:
2. The approval shall expire if the development permitted is not completed within two years of approval, or within any extension of that time which, upon written application (made before or within 21 days after the expiry of the approval) to the Shire is granted by it in writing.
3. The development approved shall be in accordance with the plans and specifications submitted with the application and these shall not be altered or modified without the prior written approval of the Chief Executive Officer.
4. Any use, additions to and further intensification of any part of the development or land which is not in accordance with the original application or conditions of approval shall be subject to a further development application and consent for that use.
5. All drainage run-off associated with the development shall be contained on site to the satisfaction of the Chief Executive Officer.
6. Any damage caused to Shire roads or crossovers during construction shall be repaired at the cost of the applicant to the satisfaction of the Chief Executive Officer.
 - a. The Meteorological mast is to include the following measures as recommended by the Aviation Impact Statement:
 - b. The top 1/3rd of the tower is to be painted in alternating contrasting bands of colour.
 - c. Marker balls or high visibility flags or high visibility sleeves placed on the outside guy wires.
 - d. Ensure the guy wire ground attachment points have contrasting colour to surrounding vegetation; and
 - e. A flashing strobe light during daylight hours and an additional light during non daylight hours or as required by the Civil Aviation Safety Authority.

Advice Notes:

1. The applicant must advise the Civil Aviation Safety Authority of the intent to commence construction as soon as practicable after forming an intention to construct the Meteorological Mast Tower and are strongly encouraged not to start construction until approval is received.
2. If the applicant is aggrieved by this decision as a result of the conditions of approval or by a determination of refusal, there may be a right of review under the provisions of Part 14 of the Planning and Development Act 2005. A review must be lodged with the State Administrative Tribunal and must be lodged within 28 days of the decision.
3. It should be noted by the Applicant that the approval should not be construed as being an approval of any subsequent application for a windfarm.

Lightsource Development Services Australia
 Level 29, 420 George Street
 Sydney NSW 2000
 Australia

www.lightsourcebp.com

23 May 2024

The Chief Executive Officer
 Shire of Narrogin
 PO Box 1145 Narrogin WA 6312
 Email: enquiries@narrogin.wa.gov.au

RE: Application for Development Approval - Meteorological Mast

Lightsource Development Services Australia (Lightsource bp) is seeking Development Approval under the Shire of Narrogin's *Local Planning Scheme No. 3* (LPS No. 3) (the Scheme) to install and operate a temporary Meteorological Mast (Met Mast) at one of two proposed locations more than 15km northeast of the town of Narrogin. Only one Met Mast will be installed at any given time.

The purpose of installing a Met Mast is to monitor wind and irradiation conditions at the site in favour of the potential development of a hybrid renewable energy generation facility, including wind generation, solar and energy storage (collectively, the Project). The potential Project will support the West Australian State Government's legislated Net Zero target by 2050 under the Climate Change Bill (2023) by adding to the stock of sustainable, affordable and reliable energy sources.

This application letter and supporting documents:

- Identifies potential sites for the installation.
- Provides a justification for the Met Mast installation.
- Explains the process of constructing, operating and decommissioning the Met Mast.
- Outlines the studies taken to date.
- Considers the proposed Met Mast against the West Australian planning framework and requirements of the Shire of Narrogin LPS No. 3.

1.0 Subject Site and Location

The two locations for the Met Mast, referred to as Met Mast East and Met Mast Central, are proposed within land parcels formally described in **Table 1.1** and shown in **Figure 1 and 2**. Both locations will be used over the course of two years to assess the wind speed across the region. Only one Met Mast will be installed at any one time and will be in place for approximately one year before being relocated to the alternative location.

Both Met Mast locations are located more than 14km (Met Mast Central) and more than 20km (Met Mast East) northeast of the town of Narrogin. Met Mast Central is located approximately 3.9km southeast of the main road, Williams-Kondinin Road and is well setback more than 1.5km from the nearest local roads, Hilders Road and Murramucking Road. Subject site is largely cleared farmland featuring dense patches of woodland throughout the property, which serve as natural screening and a well vegetated backdrop for the Met Mast when viewed from the north, east and south. No rural residence has been identified within a 2.0km radius of this proposed location.

The subject site for Met Mast East is located similarly on cleared farmland adjacent extensive areas of bushland approximately 1.2km south of Williams-Kondinin Road and 1.4km east of Taylors Road. The Ockley Nature Reserve is approximately 1.1km directly east of this location. The nearest rural residence is approximately 1.8km west of the proposed Met Mast East location, adjacent two other

rural dwellings near the Williams-Kondinin Road. Substantial natural screening of the Met Mast is available from dense vegetation within the subject lot as well as heavily vegetated woodland along Taylors Road, interrupting views of the structure from the nearest rural residences. Views of the proposed Met Mast from main and local roads will largely be screened by mature roadside vegetation as well as extensive bushland areas such as the Ockley Nature Reserve.

Table 1.1: Proposed location details

Location Reference	Land Parcel	Certificate of Title
Met Mast Central	Lot 14816 on DP205933	LOT 14816 ON DEPOSITED PLAN 205933 Volume LR3137 Folio 619
Met Mast East	Lot 15482 on DP171405	LOT 15482 ON DEPOSITED PLAN 171405 Volume 405 Folio 75A

Refer to copies of Title at **Appendix A** and Landowners' consent at **Appendix B**.

The proposed met masts are in open fields and are located well away from any public receptors - the closest public road is over 1km to the north of Met Mast East (Met Mast Central is over 3km from the nearest public road), whilst the closest residence to either proposed location is over 1.8km away (Met Mast East).

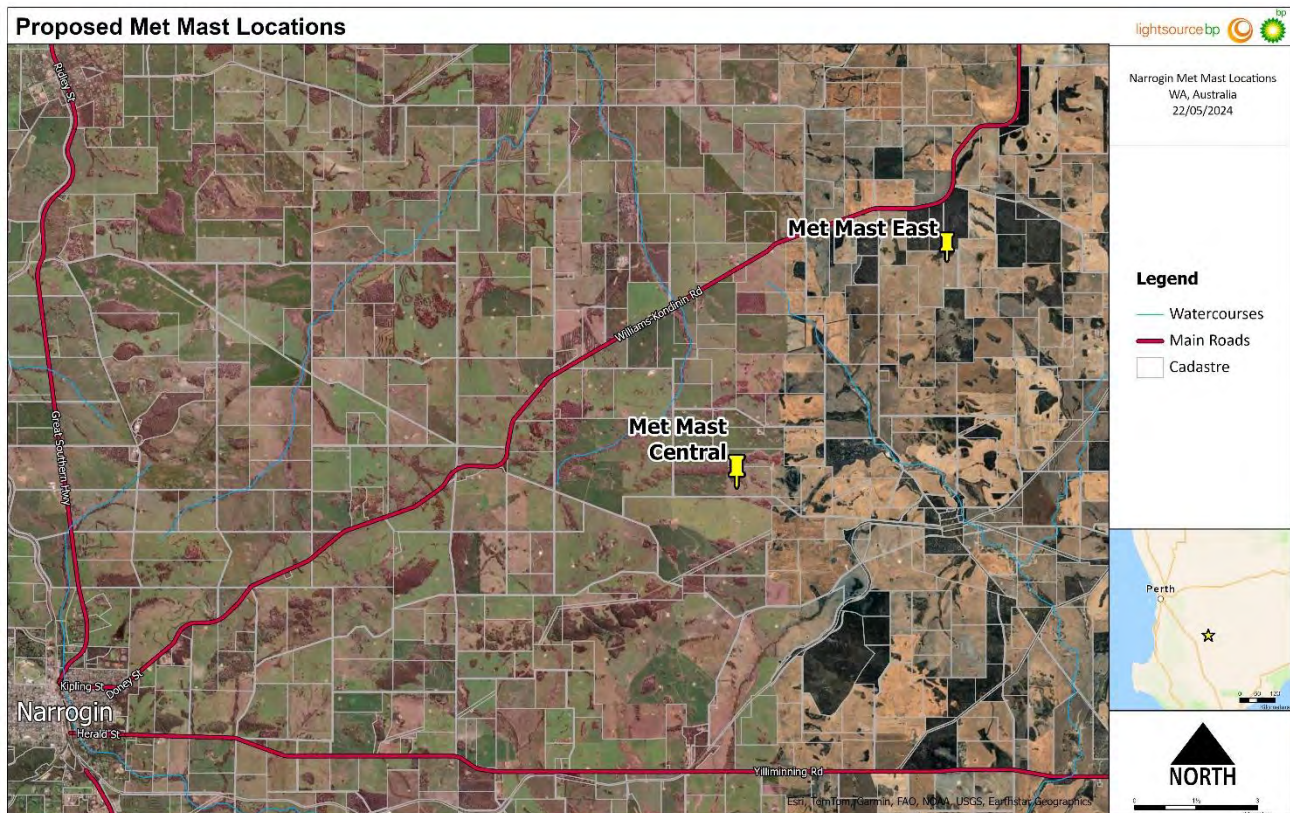


Figure 1: Proposed Met Mast Location(s) – Regional Context

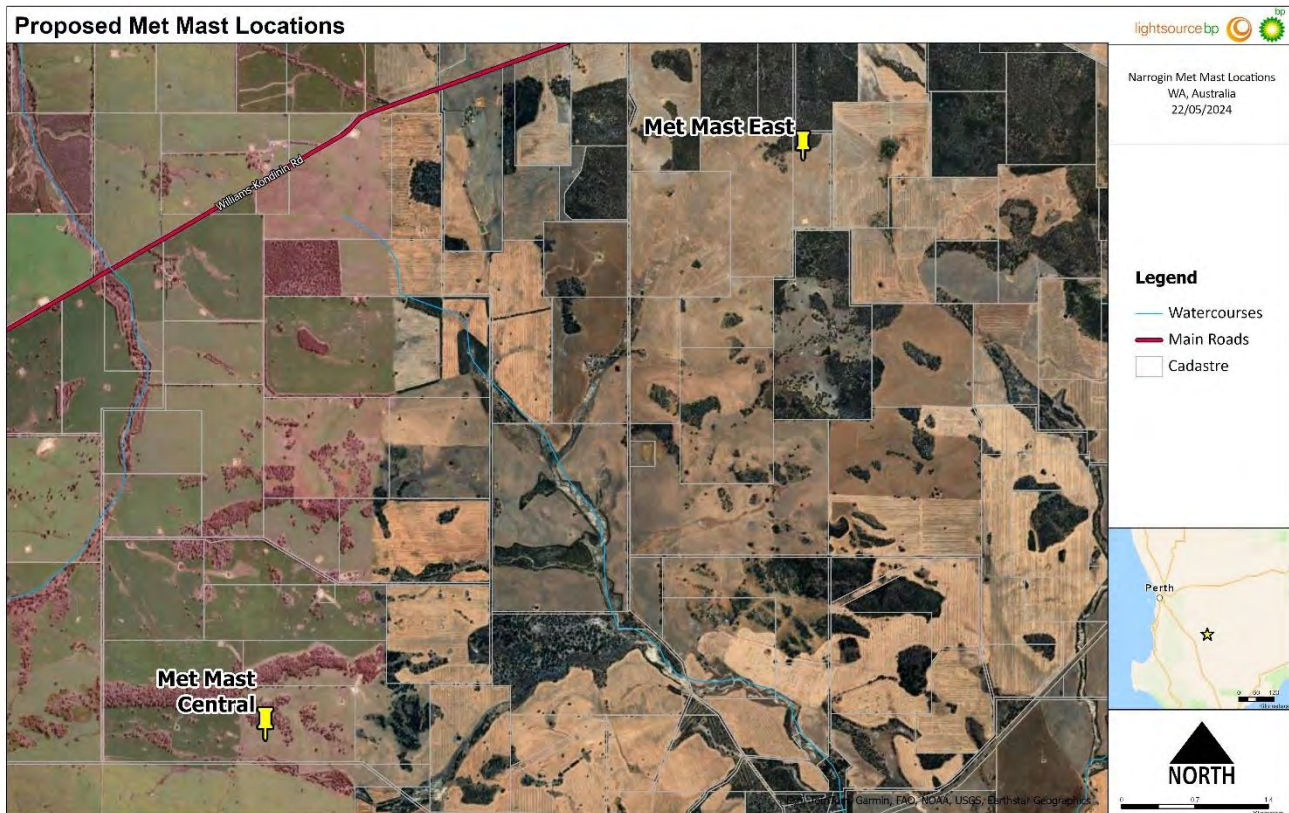


Figure 2: Proposed Met Mast Location(s) – Local Context

2.0 Proposed Development

The principal role of the Met Mast is to record site-based weather data to assist with wind and solar yield estimates for renewable energy projects. Data is collected predominantly via a series of anemometers and wind vanes located at intervals along the Met Mast. Additional sensors that may be installed along the Met Mast include pyranometers (measuring solar irradiation), temperature and pressure sensors. Compiling the data will be data logger and wireless communications kits to transfer the data to cloud storage as well as a hard backup.

The proposed Met Mast will be of a slimline steel lattice design up to 160m high supported by guy wires. Details for the 160m Met Mast is provided in the general arrangement in **Appendix C**. Guy wires supporting the structure will terminate at nine anchor footings, with the furthest footing being 120m from the base of the Met Mast. A general configuration for the guy wires is provided in **Appendix D**. The mast and guy wires will be fixed to the ground by ten concrete footings (nine for the guy wires and one for the Met Mast). Footing schedules are provided in the foundation design in **Appendix E**. The mast is intended to be temporary for up to two years and consist of:

- A steel lattice framework
- Mounting boom for meteorological monitoring equipment
- Guy-fixing system (including anchor footings and guy wires)
- Data and electrical cabling
- Potential bushfire detection camera

The Met Mast construction takes place with 4WD Utes and trailers, a 20-30 tonne excavator, and deliveries of concrete and the lattice structure by truck to install the foundations for the mast. A 3 – 4-man crew will use a derrick pole and winch to section the mast up to

the target height, individual anemometers and other measurement devices will be installed by hand using a capstan winch. In total, site works is expected to take between 2 - 4 weeks depending on weather and site conditions.

Construction activities at the two locations will be limited to installation and maintenance, should it be required. Minimal excavation of a 1.6m x 1.6m foundation of up to 1.2m depth is required to install the guyed mast base. No new access or permanent access roads will be created as part of the installation. No clearing of native vegetation or crossing of watercourses will be required for the Met Mast construction. Once installed, the Met Mast will be remotely operated.

Lightsource bp is also investigating the addition of Bushfire detection cameras, capable of remotely identifying signs of bushfire ignition using AI technology and reporting locations and magnitudes to the relevant authorities.

All works are conducted to AS/NZ standards of earthing system design and will comply with (AS/NZS 1768-2021 Cl 3.5.3), and anchor foundations (AS/NZS 1768-2021).

The Met Mast will be unmanned during operation with only periodic maintenance requiring site access. Upon completion of the weather monitoring program, the Met Mast will be deconstructed, and foundations removed and backfilled using similar equipment for installation.

The Met Mast is of a slimline lattice design and will be similar in appearance to the Met Masts already established in Narrogin, and elsewhere in the WA region as shown in **Plate 1.1**.



Plate 1.1: Met Mast in the Shire of Narrogin from public viewpoints at 1.0km (left) and 250m (right). Image taken 11th May, 2024

3.0 Pre-submission Consultation

Lightsource bp has undertaken limited consultation with government stakeholders and landowners as it is in the early phase of investigating the region's wind resource potential to inform the feasibility of a wind farm development in the area. Broad engagement with nearby landowners, key stakeholders and the local community will be undertaken should the hybrid renewable energy project, including a wind farm continues. Stakeholder engagement to date is outlined in **Table 3.1**.

Table 3.1 Consultation summary

Stakeholder	Engagement outcome
Shire of Narrogin	The Shire was introduced to the Project in a meeting in February 2024 and was notified on Lightsource bp's intention to lodge a development application for a Met Mast. A pre-lodgement meeting for the Met Mast was held between the Shire and Lightsource bp.
Landowner	Owners of the land where the Met Mast is proposed has granted consent and supports the development application.

Western Power	Western Power was consulted on the Met Mast that is proposed approximately 1km from an existing high voltage powerline. No concerns were raised, and further consultation was not required due to the distance from the powerline.
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4.0 Planning Considerations

Relevant aspects of the Western Australian planning framework have been considered as part of the proposal and to support this development application. Alignment of the proposal with relevant aspects of the State's planning policy, the Shire's recently adopted Wind Energy Facilities (WEF) policy and objectives of the planning scheme are outlined in the following section.

4.1 Shire of Narrogin Local Planning Scheme No. 3

An assessment of the proposed elements against the General Development Requirements of the LPS No. 3 is outlined in **Table 4.1**.

Table 4.1 Proposed Alignment with General Development Requirements (Part 4, LPS No. 3)

General Development Requirements	Proposed Alignment
Carparking	The development will not require dedicated parking onsite or offsite during construction or operations, there is sufficient space on the property to accommodate vehicles during the installation.
Site Access	Site access will be via existing road entry points utilising internal access tracks to deliver and construct the Met Mast. No new access roads or site entrance will be created as a result of the installation. Existing site accesses will be used for maintenance.

4.1.1 Land use and zoning

The properties listed in **Table 1.1** are located on land zoned as 'Rural' under the Shire's LPS No. 3.

The proposed development (meteorological mast) is classified as a land 'use not listed' under Table 3 of the Scheme. It is expected the development proposal will be assessed against the planning controls and objectives of the Rural zone. An assessment of the proposal against the relevant section of the Rural zone objectives are provided in **Table 4.2**.

Table 4.2 Proposed Alignment with Objectives of the Rural Zone (Part 3, LPS No. 3)

Objective	Proposed Alignment
To provide for the maintenance or enhancement of specific local rural character.	The proposed development will not detract from the rural character of the local area. Both proposed locations are well setback more than 1km (Met Mast East) and 3km (Met Mast Central) from the nearest main road. The Met Mast once installed will have a low level of visibility and limited visual impact on the rural landscape due to the slimline, lightweight, and semi-transparent lattice design. Visual impact from the Met Mast will be minimal.
To protect broad acre agricultural activities such as cropping and grazing and intensive uses such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use.	The proposed Met Mast will be temporary and will not significantly impact or decrease the area for agricultural land. The small development footprint is a very small percentage of the subject land parcel and is only temporary in nature. The proposed development will not limit other rural pursuits or prevent primary use of the land for agricultural and grazing activities in the area. The Met Mast can be considered generally compatible with the existing and surrounding rural land use.
To maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and watercourse systems from damage.	Proposed activities are located on cleared farmland and will not result in any direct impact to environmental values in the area such as native vegetation and watercourses or water bodies. No native vegetation clearing is required for the construction of the Met Mast nor the use of local water sources. Construction and maintenance activities will utilise existing site accesses and roads within the site to limit impacts to undisturbed areas.
To provide for the operation and development of existing, future, and potential rural land uses by	The proposed installation is not a sensitive land use and can be considered wholly compatible with the existing and future land use for rural purposes. The Met Mast once installed, is temporary and remotely operated, and will

limiting the introduction of sensitive land uses in the Rural zone.	require limited maintenance that will not restrict current and ongoing rural uses of the land.
To provide for a range of non-rural land uses where they have demonstrated benefit and are compatible with surrounding rural uses.	The proposal aligns with this objective by seeking to explore wind resource and renewable energy potential for the area that will have a long term and sustainable benefit for the local Narrogin community, as well as the broader Wheatbelt region. The Met Mast proposal is generally considered compatible with surrounding rural uses as it is temporary and will have no significant impact on the existing use of the land or adjacent land for rural purposes.

4.1.2 Local Planning Policy No. D11 – Wind Farm/Turbines (Shire of Narrogin, 2024)

Council adopted a Local Planning Policy on Wind Farm/Turbines (the Wind Energy Facilities (WEF) policy) in March 2024. The policy provides a framework for the assessment and regulation of wind farms and turbines in the Shire. It seeks to ensure that any wind energy projects will be developed to maximise community and environmental benefit and to minimise negative impacts associated with such developments. Whilst this application is for a Met Mast only (and does not on its own constitute a wind farm), given the intent of the Met Mast is to inform the feasibility of future wind energy generation, **Table 4.3** summarises how the proposal have considered and have sought to align with these policies.

Table 4.3 Proposed Alignment with Local Planning Policy No. D11 – Wind Farm/Turbines

Policy objective	Proposed Alignment
<p>Objectives of the WEF Policy are:</p> <ul style="list-style-type: none"> To promote the responsible development of wind farms and turbines, supporting renewable energy generation within the Shire. To protect the health, safety, and amenity of the community and the environment. To provide clear guidelines for assessing and approving wind energy projects. To facilitate community consultation and engagement throughout the development process. To address potential impacts, including environmental, visual and landscape, noise, and other relevant factors. To set out minimum standards and requirements. 	<p>The proposal aligns with the promotion of renewable energy development in the Shire by proposing to install a Met Mast to monitor wind resource in the region as part of the first step of a potential hybrid wind energy project, which is subject to a future and separate development application. Preliminary planning, environmental, cultural and heritage constraints assessment, including an aviation safety study has been completed to inform the placement of the Met Mast and future design of a potential wind farm. The proposed Met Mast is a temporary structure, and any potential impact will be negligible and only for a short term. No clearing of native vegetation is required, and the installation is not expected to have any significant visual impact to the surrounding landscape. As described in Section 2.0, Lightsource bp have held discussions with involved landholders and the Shire of Narrogin. Further consultation with the community will be undertaken should the broader wind energy project continues. While the WEF policy is not applicable to this proposal, the development of a Met Mast enables and generally supports the policy's wind development objectives.</p>

4.2 State Planning Policy 2.5: Rural Planning (WAPC, 2016)

State Planning Policy 2.5: rural planning (SPP 2.5) governs planning decision-making for rural land in Western Australia and is to be considered as part of the Shire's LPS No. 3 for development proposals in rural zoned land. A summary of the SPP 2.5 and how the Met Mast proposal considers this State Policy is described in **Table 4.4**.

Table 4.4 Proposed Alignment with State Policy 2.5

Policy consideration	Proposed Alignment
<p>SPP 2.5 aims to protect and preserve WA's rural land assets and recognises demands on economic and population growth will increase the pressure on rural land through competing and other uses. The policy seeks to promote economic growth while acknowledging the need to balance economic opportunities with the protection of natural assets and rural land uses. Relevant policy measures include retaining land identified as priority agricultural land, and retaining and protecting rural</p>	<p>As described in Table 4.2, the Met Mast can be considered a compatible use on rural land as it occupies a very small portion of the overall land parcel and due to the small development footprint, will not decrease the use of agricultural land. The Met Mast construction will not require the clearing of native vegetation nor impact on important environmental values such as water resources. Visual impact of the guyed mast structure is not significant in the general landscape, given the slimline and semi-transparent lattice design. It is also well set back and naturally screened by surrounding bushland from sensitive receptors and main road frontages as detailed in Section 1 and Table 4.6 below.</p>

land for biodiversity protection, natural resource management, and protection of valued landscapes and views.	The proposed Met Mast supports the broader investigation for a potential wind farm project, which if approved, could create economic opportunities for the local community during construction. Once operational, the wind energy project will contribute to long term affordable and clean energy for the community and the wider region.
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4.3 State Planning Policy 3.7: Planning in Bushfire Prone Areas (WAPC, 2015)

State Planning Policy 3.7 Planning in Bushfire Prone Areas (SPP 3.7) applies to all land designated as bushfire prone and provides guidance on how land use should address bushfire risk in Western Australia. A summary of the SPP 3.7 and how the proposal considers this State Policy is described in **Table 4.5**.

Table 4.5 Proposed Alignment with State Policy 3.7

Policy consideration	Proposed Alignment
Objectives of SPP 3.7 seeks to avoid any increase of bushfire threats to people, property and infrastructure and ensures that strategic planning and development applications consider bushfire protection requirements and include bushfire protection measures. Policy measures include triggers for a bushfire risk assessment for development applications within designated bushfire prone areas. This policy also applies to areas not yet designated as a bushfire prone area but is proposed to be developed in a way that introduces a bushfire hazard.	The development is not proposed on land designated as bushfire prone areas, however, both proposed locations are adjacent land designated as bushfire prone. Installation and operation of a Met Mast is not considered a bushfire risk, nor will it introduce bushfire hazards to adjacent areas. The Project is investigating co-location opportunities for bushfire detection cameras to be installed on the Met Mast for identifying first signs of bushfire in the region. If the co-location opportunity is viable, the addition of bushfire detection cameras would greatly benefit the Shire and the local community who has experienced recent bushfires. The benefit of long-term bushfire detection cameras may also be proposed for the wind farm development should the Project progresses to the next stage, following the Met Mast wind monitoring program.

4.4 Planning Position Statement – Renewable energy facilities (WAPC, 2020)

The Position Statement applies to the assessment of all renewable energy development applications in Western Australia. The key aspect of the position statement is to identify assessment measures to facilitate renewable energy development to ensure these facilities are appropriately sited in areas that minimise potential impact on the environment, urban areas, and valued landscapes.

Lightsource bp has completed the following preliminary assessment to inform the placement of the Met Mast locations and the future design of the potential wind farm project:

- A planning and environmental assessment, including cultural and heritage constraints.
- An Aviation Impact Assessment specific to the Met Mast

How the Met Mast application has considered relevant aspects of the Position Statement are outlined in **Table 4.6**

Table 4.6 Consideration of the Position Statement – Renewable energy facilities

Policy measure	Proposed Alignment
Community consultation	As described in Section 2.0 , Lightsource bp has held discussions with involved landowners, the electricity service provider and the Shire of Narrogin about the potential development of a hybrid wind farm project. Further consultation with the community and key stakeholders will be undertaken should the broader wind energy project develops.
Environmental impact	The proposed Met Mast is located on cleared farmland and constitutes a very small development footprint of the subject lot. The construction and operation of the Met Mast will not require clearing of any native vegetation or impact on any significant environmental values or water resources. There is no significant risk of soil erosion or land degradation. The Met Mast construction will utilise existing site entrances and access roads and is not expected to have significant impact on neighbouring landowners and woodland or nature reserves.
Public and Aviation safety	An Aviation Impact Assessment for the Met Mast has been completed for the two proposed locations which is provided at Appendix F . Findings of the assessment is summarised below:

	<ul style="list-style-type: none"> • No certified airport is located within 30 nm and no aircraft landing area is identified within 3 nm of the Met Mast sites. • The Met Mast is not anticipated to affect the operations of the Narrogin Airport. • Markings and lighting are not mandatory, however may be recommended for aviation safety. • Due to the height of the Met Mast, the Civil Aviation and Safety Authority (CASA) must be notified of its proposed construction in accordance with Part 139.165(1)(2) of the Civil Aviation and Safety Regulations (1998) (CASR). • Upon construction, details of the Met Mast coordinates and elevation should be provided to Airservices Australia. <p>Proposed installation is not within a designated bushfire prone area and will not create a bushfire risk to the adjacent land that is bushfire prone as described in Section 4.3.</p>
Visual and landscape impact	Both proposed met mast locations are well setback more than 1.0km (Met Mast East) and 3.0km (Met Mast Central) from the nearest main road. The nearest rural residences are located approximately 1.8km west of the proposed Met Mast East location and no residential dwellings are identified within a 2.0km radius of the Met Mast Central location. The closest rural residential dwelling to the Met Mast East location is well separated by Taylors Road and natural screening of this Met Mast location is afforded by approximately 350m of bushland adjacent these properties. The Met Mast is only temporary and once installed will have a low level of visibility and limited visual impact on the rural landscape due to the slimline and semi-transparent lattice design. Given the distance from rural residences and prominent road vantage points in the region, no significant visual or landscape impact is anticipated from the proposed development. The proposed Met Mast is also located greater than the minimum recommended distance of 1.5km from sensitive receptors, which is the separation distance guideline for noise and visual impact from wind farm developments in the <i>Position Statement: Renewable energy facilities</i> .
Heritage	An Aboriginal cultural heritage and European heritage preliminary desktop assessment has been undertaken for the general area for the two proposed Met Mast locations. No registered heritage sites have been listed in the area. Further assessment of heritage values of the wider region will be completed as part of the broader investigation for a potential wind farm.
Construction impact	The Met Mast construction will have minimal and limited impact on the subject land and surrounding areas. Installation and testing of the guyed mast will take 2 – 4 weeks and no significant increase to traffic is expected during the construction and operation of the Met Mast. Existing site accesses and internal access tracks will be used to deliver and construct the structure. No new access roads or site entrance will be created as part of the installation. The Met Mast once installed will be remotely operated. No significant risk of soil erosion or land degradation is anticipated from the limited excavation required. The works and installation footprint constitute a very small portion of the overall land parcel.

5.0 Conclusion

The Met Mast proposed in this development application supports the broader investigation of the potential Narrogin East Wind Farm project, if approved, during the wind farm's construction will be a source of skilled and unskilled jobs within the community, and once operational will contribute to the low cost, low carbon electricity generation fleet needed to transition the State to net zero. The future potential renewable energy project will create demand for a skilled permanent workforce that will ultimately strengthen the local economy and community.

The Met Mast development is both temporary and a necessary part of the overall investigation into renewable energy potential in the region. The proposal is consistent with the WA's Position Statement on Renewable energy facilities and the intent of the relevant State policies and objectives of the LPS No. 3 zone for rural land use. Particularly relevant is the development's alignment with the Shire's Local Planning Policy No. D11 for wind farm and turbines as it is the necessary first step to determine the viability of developing a wind energy project in the Shire. Additionally, the proposal has considered the recommended setback distance for wind farm turbines from sensitive land uses. The proposed Met Mast is located more than the 1.5km minimum recommended separation distance to the nearest rural residence.

The proposed Met Mast will not require the clearing of native vegetation, permanent access roads, and will not reduce the agricultural land or impact existing waterways. The installation will aid bushfire detection in the area through the potential colocation of a bushfire detection camera and would pose minimal impact on airborne firefighting efforts, considering the remoteness of the installation. The aviation assessment undertaken for the Met Mast also shows no impact to aviation in the area.

The two proposed locations will be used over the course of the two years wind monitoring campaign. Only one Met Mast will be installed at a time. Once the campaign is complete, decommissioning of the Met Mast will remove the structure and all associated infrastructure from the site, reinstating the small development footprint to the existing agricultural land use, if the land is not deemed to be suitable for a wind farm development.

We trust that the information provided within this application is sufficient to inform the Shire on the purpose and need for the Met Mast installation. Should you have any further questions, please feel free to contact me.

Yours sincerely,

Kristy Zhang
Senior Environmental Planner
Lightsource bp

kristy.zhang@lightsourcebp.com

Appendix A: Certificate of Title

WESTERN



AUSTRALIA

TITLE NUMBER

Volume Folio

LR3137 619

**RECORD OF CERTIFICATE
OF
CROWN LAND TITLE**
UNDER THE TRANSFER OF LAND ACT 1893
AND THE LAND ADMINISTRATION ACT 1997

The undermentioned land is Crown land in the name of the STATE OF WESTERN AUSTRALIA, subject to the interests and Status Orders shown in the first schedule which are in turn subject to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 14816 ON DEPOSITED PLAN 205933

STATUS ORDER AND PRIMARY INTEREST HOLDER:
(FIRST SCHEDULE)

STATUS ORDER/INTEREST: PERPETUAL LEASE

PRIMARY INTEREST HOLDER: BURKETOWN PTY LTD OF PO BOX 250 NARROGIN
(TL F459594) REGISTERED 22/2/1994

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:
(SECOND SCHEDULE)

- | | | |
|----|---------|---|
| 1. | N104913 | LEASE. SUBJECT TO THE TERMS AND CONDITIONS AS SET OUT IN THE LEASE.
REGISTERED 27/8/2015. |
| | C754122 | EASEMENT TO THE STATE ENERGY COMMISSION OF WESTERN AUSTRALIA FOR
ELECTRICITY TRANSMISSION PURPOSES. AS TO LEASE N104913 ONLY. REGISTERED
18/4/1984. |
| | F459594 | TRANSFER OF LEASE N104913. REGISTERED 22/2/1994. |
| | L237961 | MORTGAGE OF LEASE N104913 TO RABOBANK AUSTRALIA LTD REGISTERED 22/2/2010. |

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF CROWN LAND TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND:	DP205933
PREVIOUS TITLE:	LR3137-619
PROPERTY STREET ADDRESS:	331 MARRAMUCKING RD, BOUNDAIN.
LOCAL GOVERNMENT AUTHORITY:	SHIRE OF NARROGIN

END OF PAGE 1 - CONTINUED OVER

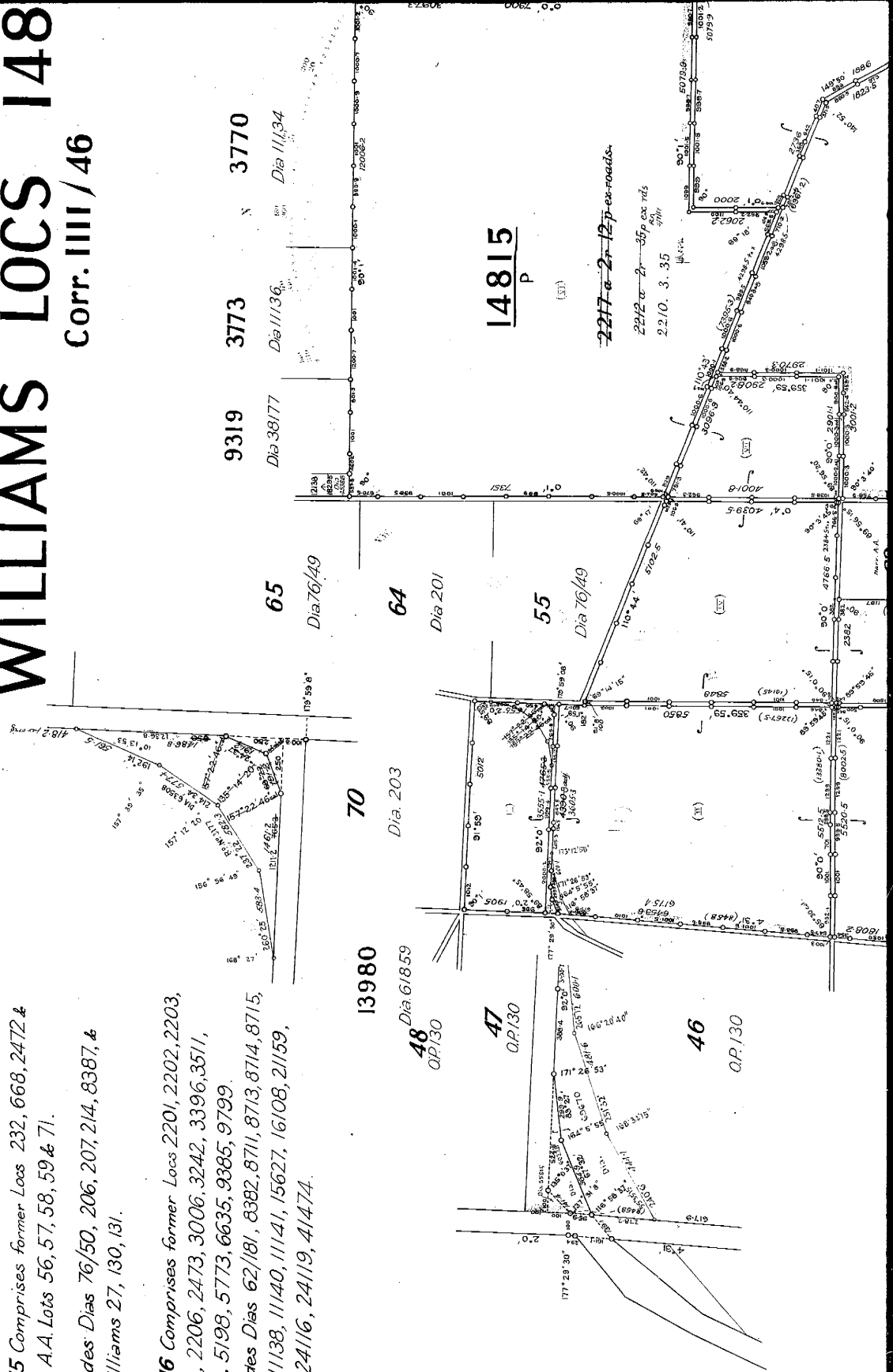
PLAN OF WILLIAMS LOCS 148 Corr. IIII/46

Loc 14815 Comprises former Locs 232, 668, 2472 & Narrogin A.A. Lots 56, 57, 58, 59 & 71.

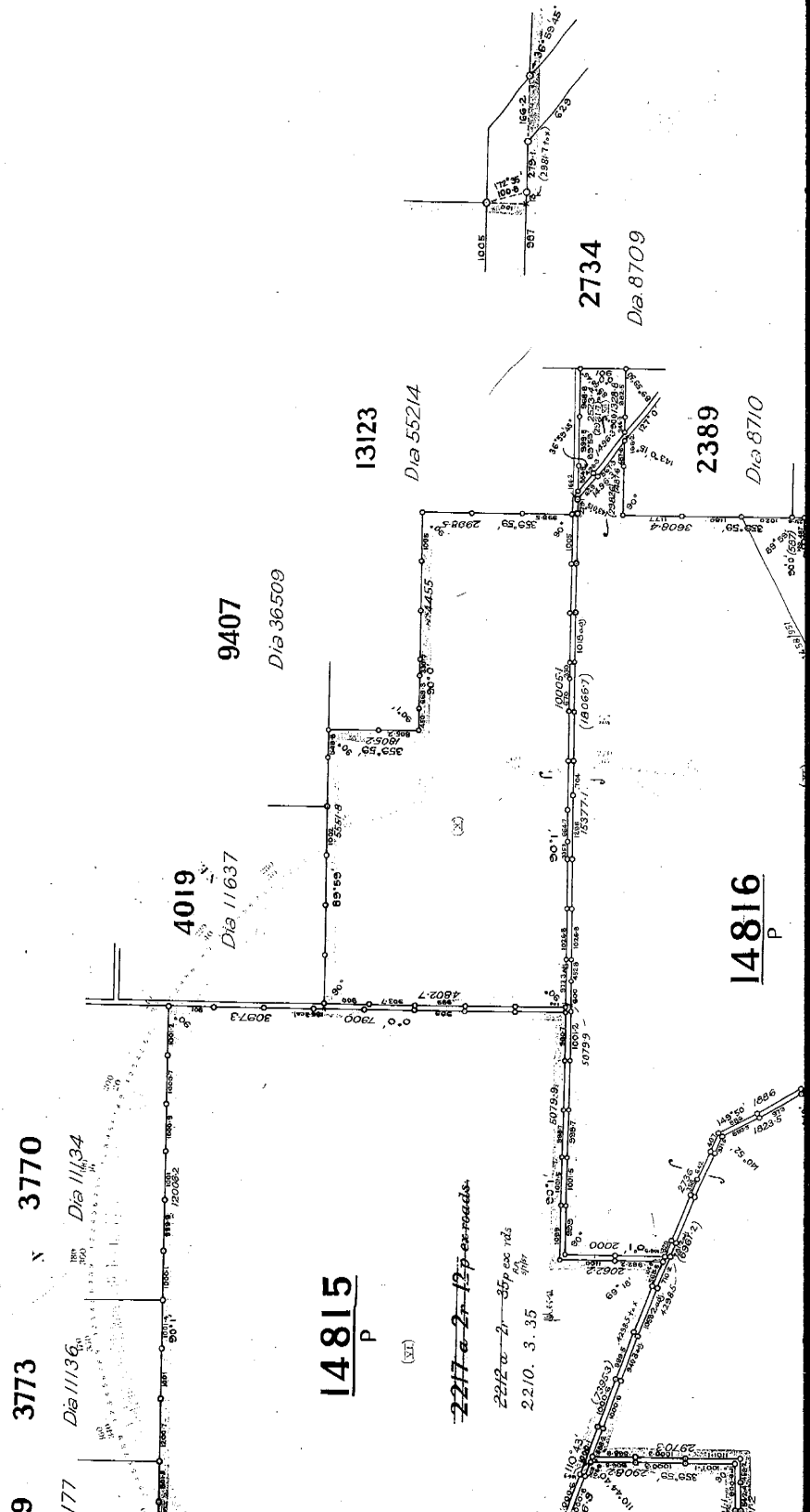
Supersedes Dias 76/50, 206, 207, 214, 8387, & O.P. Williams 27, 130, 131.

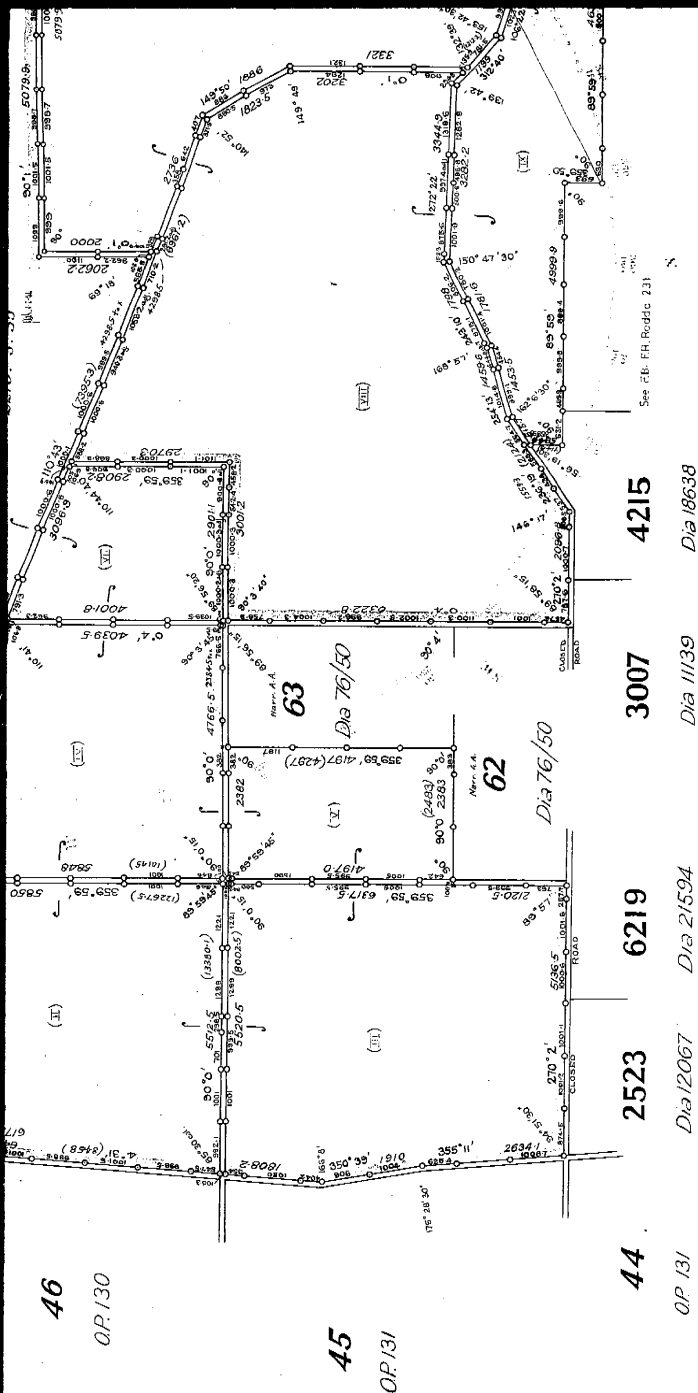
Loc 14816 Comprises former Locs 2201, 2202, 2203, 2204, 2206, 2473, 3006, 3242, 3396, 3511, 4994, 5198, 5773, 6635, 9385, 9799.

Supersedes Dias 62/181, 8382, 8711, 8713, 8714, 8715, 11137, 11138, 11140, 11141, 15627, 16108, 21159, 24116, 24119, 41474.



PLAN OF S LOCS 14815, 14816 Corr. IIII / 46





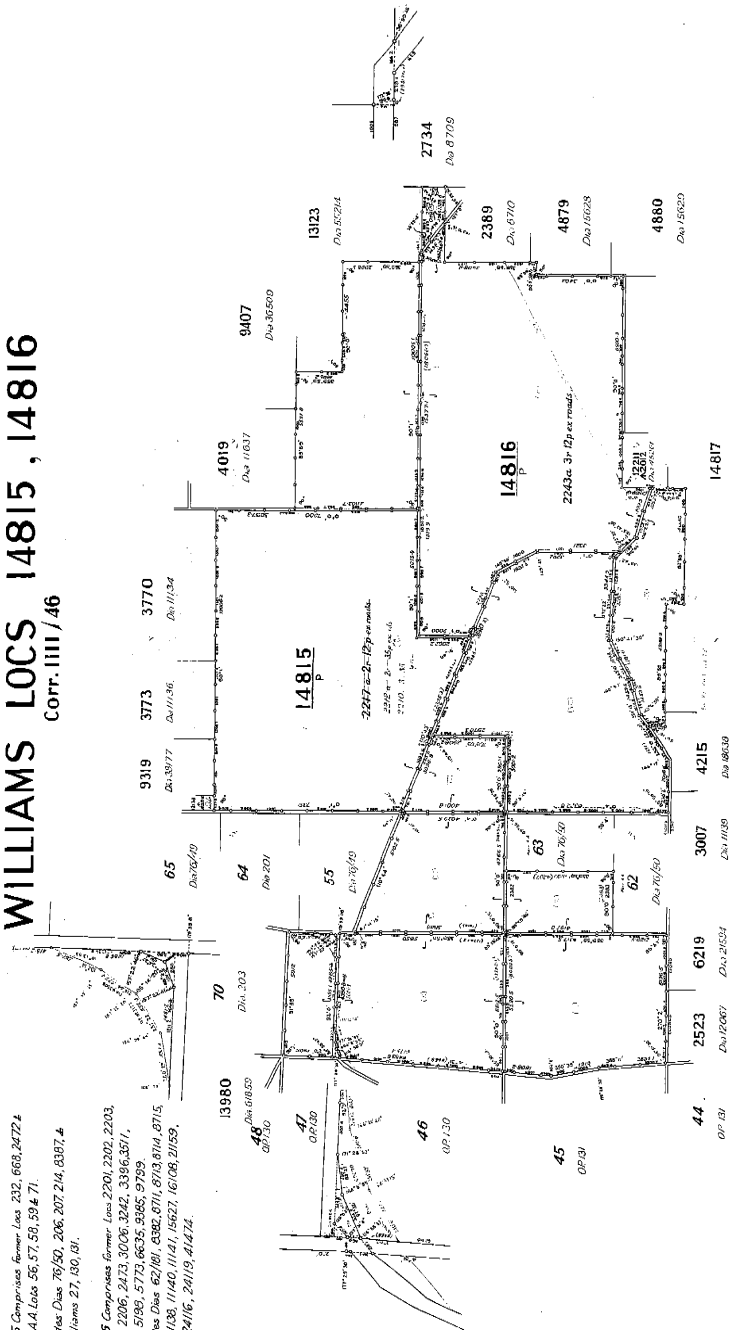
SURVEYOR'S CERTIFICATE

I hereby certify that this survey was performed by me personally (or under my own personal supervision, inspection, and field check) in accordance with the Regulations for the Guidance of Surveyors, and that this plan is in all respects accurate.

Compiled
 Date

Asimuth observed at	19
or assumed from	
Date of Marking	Compiled Page
Field Book No.	16
St. No.	385B/40
Public Plan No.	

Los 144815 *Comptosia* former *Los* 232, 663, 2472? 2
Narragansett *A La* 56, 57, 59, 59? 71.
Superstitions *Ds* 76/50, 206, 207, 214, 8387, 4
Opplands *Williams* 27, 130, 131.
Los 142416 *Comptosia* former *Los* 2701, 2202, 2203,
 2204, 2206, 2473, 3006, 3242, 3396, 3571,
 4394, 5198, 5273, 6635, 9385, 9799.
Superstitions *Ds* 62/161, 6382, 6711, 8713, 8714, 8715,
 1137, 1138, 1414, 1414, 1562? 16108, 21159,
 24116, 24419, 41424.



Survey approved as amended. Survey
 Approved by the Board
 Date 11-16-1988
 Survey approved as amended. Survey
 Approved by the Board
 Date 11-16-1988

[illegible]

SURVEYORS' CERTIFICATE

edge cattle (and this survey was performed by our personally selected surveyors).

[illegible]

WESTERN



AUSTRALIA

TITLE NUMBER

Volume

Folio

405

75A

RECORD OF CERTIFICATE OF TITLE

UNDER THE TRANSFER OF LAND ACT 1893

The person described in the first schedule is the registered proprietor of an estate in fee simple in the land described below subject to the reservations, conditions and depth limit contained in the original grant (if a grant issued) and to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 15482 ON DEPOSITED PLAN 171405

REGISTERED PROPRIETOR: (FIRST SCHEDULE)

STEVEN CRAIG SHEPHERD
TIMOTHY MARK SHEPHERD
BOTH OF 63 ARMSTRONG ROAD YILLIMINNING WA 6312
AS JOINT TENANTS

(T O673223) REGISTERED 17/3/2021

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS: (SECOND SCHEDULE)

1. O673225 MORTGAGE TO AUSTRALIA & NEW ZEALAND BANKING GROUP LTD REGISTERED
17/3/2021.

Warning: A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required.
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND: 405-75A (15482/DP171405)
PREVIOUS TITLE: 405-75A
PROPERTY STREET ADDRESS: NO STREET ADDRESS INFORMATION AVAILABLE.
LOCAL GOVERNMENT AUTHORITY: SHIRE OF NARROGIN

ORIGINAL CERTIFICATE OF CROWN LAND TITLE

REGISTER NUMBER: 14816/DP205933

VOLUME/FOLIO: LR3137-619

PAGE 2

RESPONSIBLE AGENCY:

DEPARTMENT OF PLANNING, LANDS AND HERITAGE (SLSD)

NOTE 1: J658512 CORRESPONDENCE FILE 01458-1951-01RO

NOTE 2: N104913 LEASE N104913 WAS ALLOCATED A DOCUMENT NUMBER TO ALLOW DIGITAL CAPTURE WITHOUT THE PRODUCTION OF THE DUPLICATE LEASE. CURRENT DUPLICATE LEASE IS STILL NUMBERED CL104/1955.

Subject to dealing

EASEMENTS AND ENCUMBRANCES REFERRED TO

Mortgage B830606 to The National Bank of Australasia Limited. Registered 11th December, 1979 at 9.01 o'clock.

Discharge G7706 of Mortgage B830606. Registered 18th October 1995 at 10.00 hrs.

Mortgage G7707 to Commonwealth Bank of Australia. Registered 18th October 1995 at 10.00 hrs.

Discharge H325132 of Mortgage G7707. Registered 30th December 1999 at 8.54 hrs.

Mortgage H325136 to Commonwealth Bank of Australia. Registered 30th December 1999 at 8.54 hrs.

DISCHARGED



DISCHARGED



CROWN GRANT

VOL. 405 FOL. 75 A

CT 0405 0075A B



Superseded - Copy for Sketch Only

Appendix B: Landowners Consent

APPLICATION FOR DEVELOPMENT APPROVAL



Shire of
Narrogin

(FDR3005)

89 Earl Street
PO Box 1145
Narrogin WA 6312

(08) 9890 0900

www.narrogin.wa.gov.au
enquiries@narrogin.wa.gov.au

CASHIER HOURS:
8:30am – 4:30pm
MONDAY- FRIDAY

SHIRE OF NARROGIN – LOCAL PLANNING SCHEME NO.3 (LPS 3)

All applicants should complete this form and the checklist provided. Applicants seeking approval for Advertising Signage should also complete page 3, unless exempt under Schedule 5 of the LPS 3.

PROPERTY DETAILS

Lot No	14816	House No		Street Name	331 MARRAMUCKING RD, BOUNDAIN			
Suburb	Boundain	Nearest Street Intersection		Marramucking Road and Williams-Kondinin Road				
Location No		Plan or Diagram	DP205933	Certificate of Title		Volume:		Folio:
Title Encumbrances (e.g. Easements, Restrictive Covenants)		on Lot 14816 on DP205933						

LOT DIMENSIONS

Site area	9,080,373	Square metres
Frontage	n/a	Metres
Depth	n/a	Metres

OWNER DETAILS

Full Name:	Burketown Pty Ltd		
ABN (If Applicable)	008 904 998		
Postal Address	[REDACTED]		
Telephone Number:	[REDACTED]	Email:	[REDACTED]
Owner's Signature		Date	
KCA		30/4/24	

NOTE: All owners of the property must sign this application form.

Where property is owned by a company, at least two directors of the company must sign the application.

APPLICANT DETAILS (if different)

Full Name:	Lightsource Development Services Australia Pty Limited		
ABN (If Applicable)	26 623 301 799		
Postal Address	[REDACTED]		
Telephone Number:	[REDACTED]	Email:	[REDACTED]
Applicant's Signature		Date	

ADVERTISING

The information and plans provided with this application may need to be made available by the local government for public viewing in connection with the application. Do you consent to this?*

Yes ☒ No ☐

* Public notification is required for certain development applications to ensure that the public is made aware of the development and have opportunity for relevant submissions. Council has right of refusal for applications that do not allow for public viewing should it be deemed necessary.

PROPOSED DEVELOPMENT

Nature of Development	<input checked="" type="checkbox"/> Works (New construction works with no change of land use) <input type="checkbox"/> Use (Change of use of land with no construction works) <input type="checkbox"/> Works and Use
<small>NOTE: If the proposal involves advertising signage the Additional Information for Development Approval for Advertisements form must be completed and submitted with this application.</small>	
Is an exemption from development claimed for part of the development?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If yes, is the exemption for:	<input type="checkbox"/> Works <input type="checkbox"/> Use
Description of proposed works and/or land use:	Installation, operation and decommissioning of a meteorological mast
Description of exemption claimed (if relevant)	
Nature of any existing buildings and/or land use:	160m lattice tower with guyed wire fixing
Approximate cost of proposed development:	\$415,000
Estimated time of completion:	3 weeks

NOTE: This form is to be submitted together with copies of plans, comprising the information specified in the particulars required with the application outlined below. Additional information may be required at a later stage.

NOTE: The Development Application must be accompanied with the correct planning fees (see current Schedule of Fees and Charges)

This is not an application for a building permit. A separate application is required for a building permit.

OFFICE USE ONLY

File Reference		Application No	
Date Received		Date of Approval / Refusal	
Date of Notice of Decision		Officer's Signature	

APPLICATION FOR DEVELOPMENT APPROVAL



Shire of
Narrogin
Love the life

(FDRS005)

89 Earl Street
PO Box 1125
Narrogin WA 6342

(08) 9890 6900

www.narrogin.wa.gov.au
enquiries@narrogin.wa.gov.au

CASHIER HOURS:
8:30am - 4:30pm
MONDAY - FRIDAY

SHIRE OF NARROGIN – LOCAL PLANNING SCHEME NO.3 (LPS 3)

All applicants should complete this form and the checklist provided. Applicants seeking approval for Advertising Signage should also complete page 3, unless exempt under Schedule 5 of the LPS 3.

PROPERTY DETAILS

Lot No	15482	House No	Street Name		
Suburb	Yiliminning	Nearest Street Intersection	Taylor Road and Williams-Kondinin Road		
Location No	Plan or Diagram	DP171405	Certificate of Title	Volume	Folio
Title Encumbrances (e.g. Easements, Restrictive Covenants)	Lot 15482 DP171405				

LOT DIMENSIONS

Site area	227,281	Square metres
Frontage	300	Metres
Depth	750	Metres

OWNER DETAILS

Full Name	The Invermay Trust		
ABN (If Applicable)	73 483 757 376		
Postal Address	[REDACTED]		
Telephone Number:	[REDACTED]	Email:	[REDACTED]
Owner's Signature	[Signature]		Date 2/5/2024

NOTE: All owners of the property must sign this application form.

Where property is owned by a company, at least two directors of the company must sign the application.

APPLICANT DETAILS (If different)

Full Name:	Lightsource Development Services Australia Pty Limited		
ABN (If Applicable)	26 623 301 799		
Postal Address	[REDACTED]		
Telephone Number:	[REDACTED]	Email:	[REDACTED]
Applicant's Signature	[Signature]		Date

ADVERTISING

The information and plans provided with this application may need to be made available by the local government for public viewing in connection with the application. Do you consent to this?*

Yes ☒ No ☐

* Public notification is required for certain development applications to ensure that the public is made aware of the development and have opportunity for relevant submissions. Council has right of refusal for applications that do not allow for public viewing should it be deemed necessary.

PROPOSED DEVELOPMENT

Nature of Development	<input checked="" type="checkbox"/> Works (New construction works with no change of land use) <input type="checkbox"/> Use (Change of use of land with no construction works) <input type="checkbox"/> Works and Use
<small>NOTE: If the proposal involves advertising signage the Additional Information for Development Approval for Advertisements form must be completed and submitted with this application.</small>	
Is an exemption from development claimed for part of the development?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
If yes, is the exemption for:	<input type="checkbox"/> Works <input type="checkbox"/> Use
Description of proposed works and/or land use:	Installation, operation and decommissioning of a meteorological mast
Description of exemption claimed (if relevant)	
Nature of any existing buildings and/or land use:	160m lattice tower with guyed wire fixing
Approximate cost of proposed development:	\$415,000
Estimated time of completion:	3 weeks

NOTE: This form is to be submitted together with copies of plans, comprising the information specified in the particulars required with the application outlined below. Additional information may be required at a later stage.

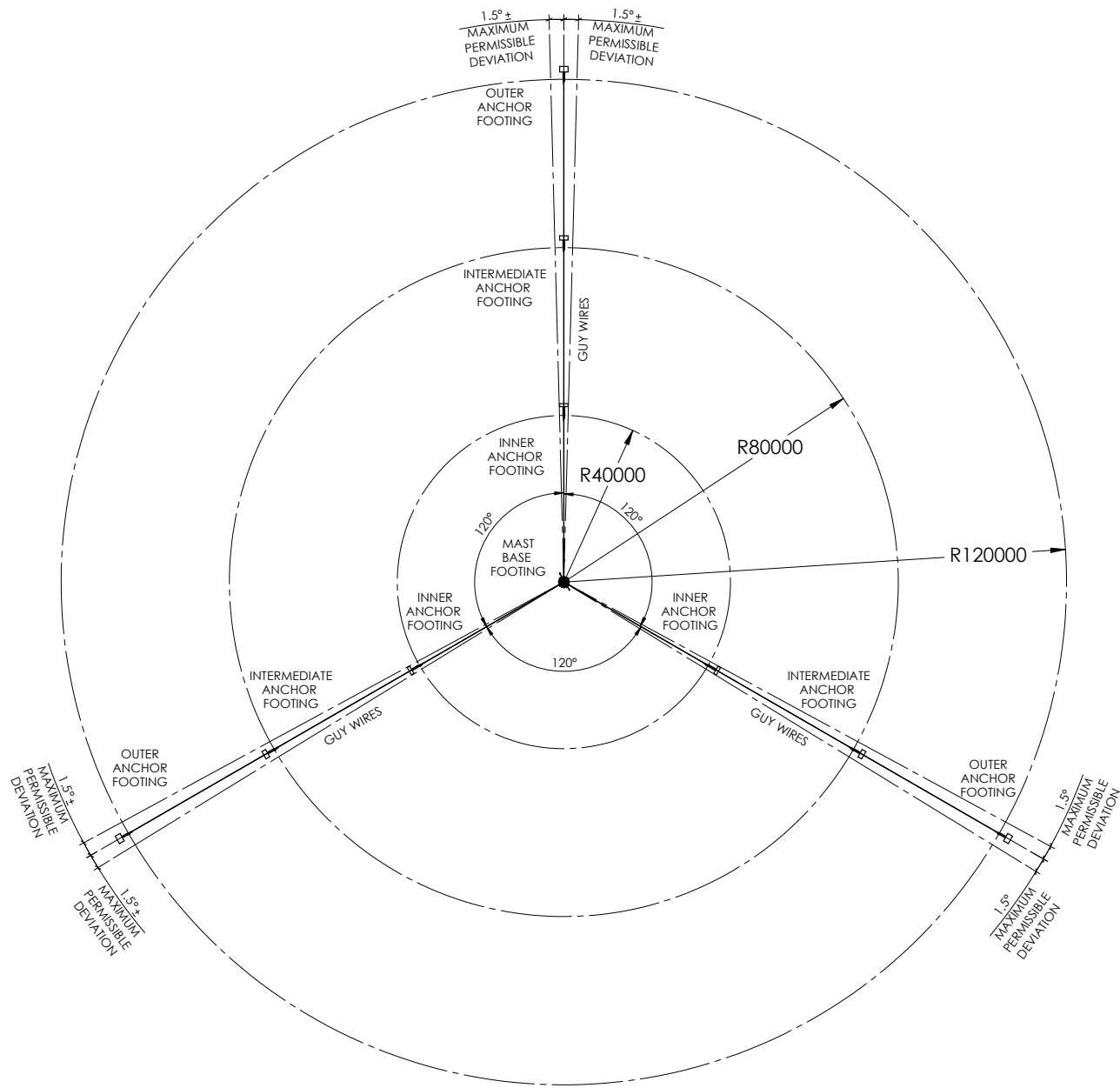
NOTE: The Development Application **must** be accompanied with the correct planning fees (see [current Schedule of Fees and Charges](#))

This is not an application for a building permit. A separate application is required for a building permit.

OFFICE USE ONLY

File Reference		Application No	
Date Received		Date of Approval / Refusal	
Date of Notice of Decision		Officer's Signature	

Appendix C: 160m Mast General Arrangement



PLAN - MAST LAYOUT
SCALE 1:1100 AT A3

NOT FOR CONSTRUCTION

REV	DATE	REVISIONS	DRAWN	CHK	APRVD

Shire of Narrogin



ART GROUP
MURWILLUMBAH 119-125 QUARRY ROAD PH. 02 6672 6200
E-MAIL: ADVICE@ARTGROUPS.COM.AU
Agenda Ordinary Council Meeting 26 June 2024
DO NOT SCALE DRAWING. USE WRITTEN DIMENSIONS ONLY
THIS PLAN IS COPYRIGHT © ALL RIGHTS RESERVED.

SCALE 1:5000	A3	DATE	DRAWING No.	REV.
			GENERAL ARRANGEMENT	
			160m (NOM)	
			GUYED LATTICE MAST	
			40	

Appendix D: Guy Wire Configuration



SCALE 1:5000	A3	DATE	DRAWING No.	REV.
			GENERAL ARRANGEMENT	
			160m (NOM)	42
			GUYED LATTICE MAST	
June 2024				

[illegible]

NOTES:

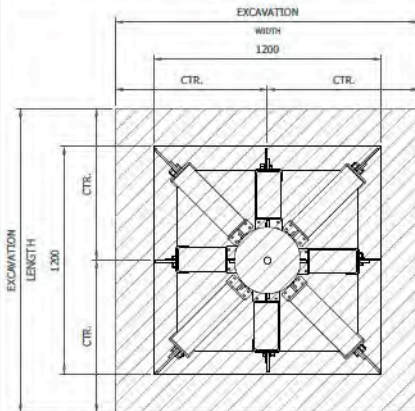
1. GUYS 8.25mm (7/72.75mm STRANDS) G1320.
 - TENSILE STRENGTH = 1320 MPa.
 - BREAKING FORCE = 50 KN.
 - PRE-TENSION INNER ANCHOR 3.5 KN.
 - & OUTER ANCHOR 4.5KN.
2. GUYS 10mm (19/2mm STRANDS) G1320.
 - TENSILE STRENGTH = 1320 MPa.
 - BREAKING FORCE = 71 KN.
 - PRE - TENSION TO 5.6 KN.
3. BOW & 'D' SHACKLES & TURNBUCKLES TO SUIT CAPACITY OF RESPECTIVE GUY WIRES
4. ALL BOLTS TO BE SUPPLIED WITH NUT & ALL BOLTS TO BE SUPPLIED WITH NUT & SNUG TIGHTENED.
5. ALL BOLTS TO BE SUPPLIED G8.8 WITH ALL BOLTS TO BE SUPPLIED G8.8 WITH STRUCTURAL WASHERS - U.N.F.O.
6. ONE FACE OF MAST TO BE FITTED WITH FALL ARREST DEVICE INSTALLED AS PER MANUFACTURER'S INSTRUCTIONS.
7. PROVIDE "HELICOIL GRIP" OR "FAN WRAP" AT TERMINATION OF GUY WIRES.
8. ALL FASTENERS M16 x 45 G8.8 U.N.O.

NOTE:
*ANCHOR ROD GRADIENT SHOWN IS FOR CASE
AFTER RESULTANT PRETENSION FORCE HAS BEEN
APPLIED. LOOSE SOIL AROUND ANCHOR RODS
TO BE RE-COMPACTED AFTER PRETENSIONING

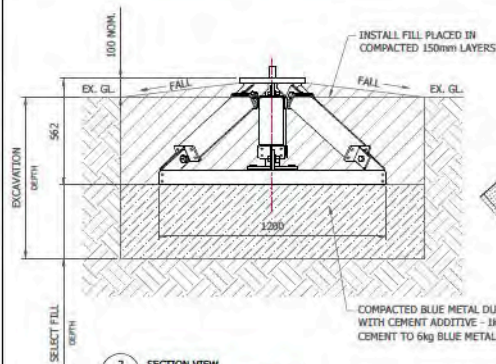
NOTE:
LEVEL OF GUY ANCHORS FOOTINGS MAY VARY UP
TO RL. $\pm 1.0\text{m}$ AT THE INNER PERIMETER, AND UP
TO RL. $\pm 1.0\text{m}$ AT OUTER PERIMETER RELATIVE
TO BASE OF MAST (RL:0.0m)

Appendix E: Foundation design

MAST BASE FOUNDATION					
EXCAV. WIDTH	EXCAV. LENGTH	EXCAV. DEPTH	SELECT FILL DEPTH	BLUE METAL VOL. (m ³)	CEMENT (kg)
1600	1600	1200	650	1.664m ³	402

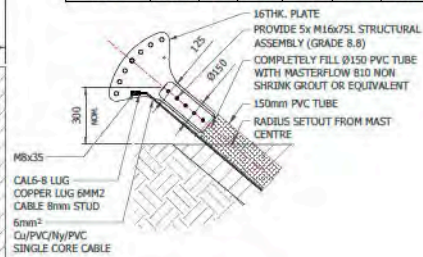


1 PLAN VIEW
S-06 BURIED STEEL MAST FOUNDATION
TYPICAL DETAIL

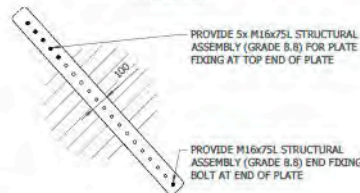


2 SECTION VIEW
S-06 BURIED STEEL MAST FOUNDATION
TYPICAL DETAIL

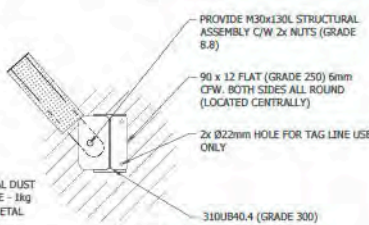
GUY ANCHOR FOOTING SCHEDULE													
FOOTING	RADIUS	No. GUYS	EXCAV. WIDTH	EXCAV. LENGTH	EXCAV. DEPTH	ANCHOR BEAM	ANGLE	DIM A	DIM B	DIM C	GROUT WEIGHT (kg)	PIPE LENGTH	ANCHOR HEAD
INNER	30000	3	800	3400	1600	3000	36°	2085	400	3020	69	2500	7 HOLE
INTERMEDIATE	50000	4	800	3400	1600	3000	50°	1312	400	2840	54	1900	7 HOLE
OUTER	70000	4	800	3400	2200	3000	55°	1543	400	2950	71	2500	7 HOLE



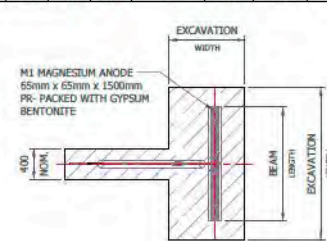
A DETAIL VIEW
S-06 ANCHOR HEAD ASSEMBLY
TYPICAL DETAIL



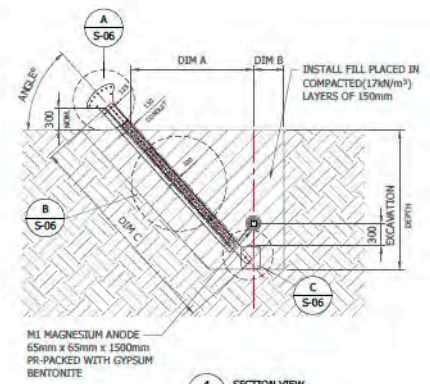
B DETAIL VIEW
S-06 ANCHOR ROD CONNECTION
PVC TUBE & EARTH NOT SHOWN FOR CLARITY
TYPICAL DETAIL



C DETAIL VIEW
S-06 ANCHOR BEAM ASSEMBLY
TYPICAL DETAIL



3 PLAN VIEW
S-06 GUY ANCHOR FOOTING
TYPICAL DETAIL



4 SECTION VIEW
S-06 GUY ANCHOR FOOTING
TYPICAL DETAIL

Appendix F: Aviation Impact Assessment

Stephen Archer
Senior Development Manager
Lightsource BP

May 2024

By email: stephen.archer@lightsourcebp.com

Our reference: 108901-01

Dear Stephen

Re: Met Masts near Narrogin - Aviation Impact Assessment

Lightsource BP is seeking to submit an application to Narrogin Shire Council to construct one 160 m Wind Monitoring Towers (WMT) to support a wind farm development located approximately 15 km northeast of the township of Narrogin in Western Australia (WA). This report has investigated two met mast locations, however only one will be installed and operating at any given time.

Aviation Projects has prepared an Aviation Impact Assessment for the WMTs against relevant aspects of the applicable planning scheme, Civil Aviation Safety Regulations Part 139, and National Airports Safeguarding Framework, specifically in relation to assessing whether marking and/or lighting is required.

1.1. References

The following information sources were referenced during the preparation of this report:

1. Airservices Australia, *Aeronautical Information Package, including AIP Book, Departure and Approach Procedures and En Route Supplement Australia*, dated 13 June 2024
2. Airservices Australia, *Designated Airspace Handbook*, dated 13 June 2024
3. CASA, *Civil Aviation Safety Regulations 1998 (CASR)*
4. Civil Aviation Safety Authority, *Part 139 (Aerodromes) Manual of Standards 2019*, Version F2024C00161, dated 10 February 2024
5. CASR Part 173 *Manual of Standards – Standards Applicable to Instrument Flight Procedure Design*, version 1.8, dated August 2022
6. Civil Aviation Safety Authority, *Advisory Circular 139.E-01 v1.0—Reporting of Tall Structures*, dated December 2021
7. CASA AC 139.E-05v1.1: *Obstacles, including wind farms outside the vicinity of a CASA-certified aerodrome* dated October 2022
8. Australian Government, Department of Infrastructure and Regional Development, *National Airport Safeguarding Framework, Guideline D Managing the Risk To Aviation Safety of Wind Turbine Installation (Wind Farms)/Wind Monitoring Towers*, dated July 2012
9. International Civil Aviation Organization (ICAO), *Doc 8168 Procedures for Air Navigation Services—Aircraft Operations (PANS-OPS)*
10. ICAO Standards and Recommended Practices, Annex 14—Aerodromes

11. OzRunways, aeronautical navigation charts (WAC and ERC) extracts, dated May 2024;
12. Narrogin Local Planning Scheme No 3 (May 2023)
13. Narrogin Local Planning Strategy (December 2019)
14. Draft D11 – Local Planning Policy – Wind Farm Turbines.
15. Planning and Development Act
16. other references as noted.

1.2. Project description

The proposed WMTs will be located approximately 15 km northeast of Narrogin, WA.

The WMTs are 160 m (525 ft) above ground level (AGL). Their highest ground level is Met Mast East, which is 380 m Australian Height Datum (AHD). This results in a maximum height of 540 m AHD (1771.7 ft above mean sea level (AMSL)).

Figure 1 shows the location of the proposed WMTs (Source: Lightsource BP).

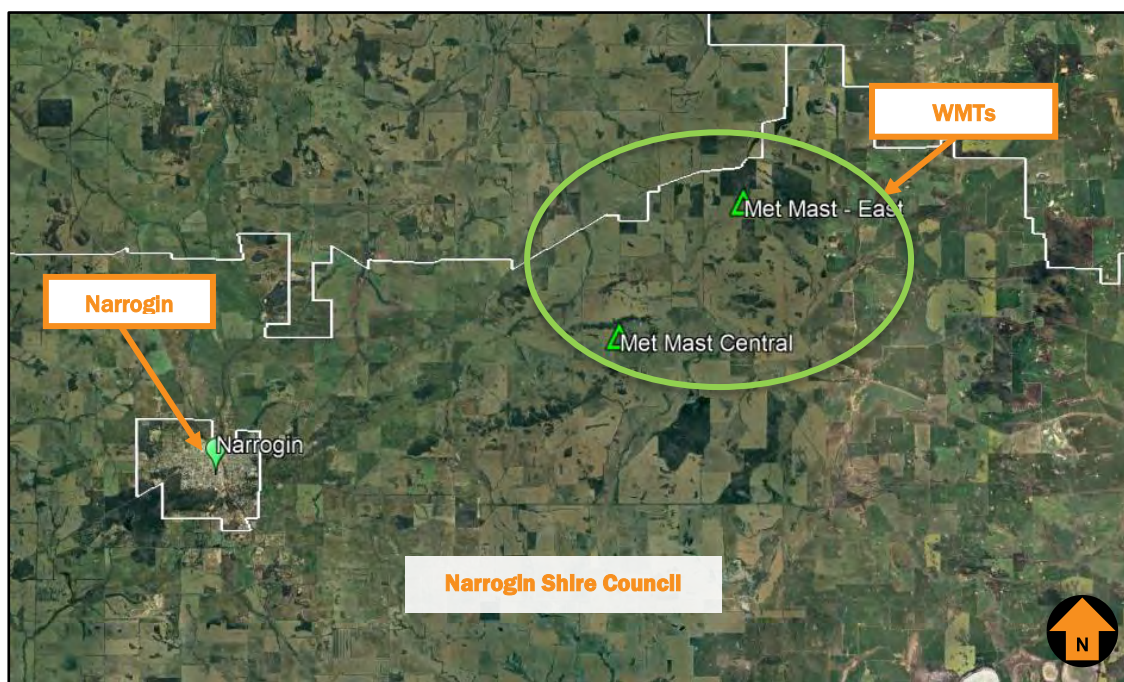


Figure 1 WMT locations

Table 1 provides details of the proposed WMTs (source: email from Stephen Archer, dated 8 March 2024 and an updated location of Met Mast Central on 22 May 2024).

Table 1 Details of proposed WMTs

Item	Met Mast Central	Met Mast East
Location (Easting, Northing)	Easting: 530,6559 m E Northing: 6,360,343 m S	Easting: 534,982 m E Northing: 6,364,958 m S
Ground elevation at the site	348 m AHD	380 m AHD
Height of WMT AGL	160 m AGL	160 m AGL
Height of tower	508 m AHD (1666.7 ft AMSL)	540 m AHD (1771.7 ft AMSL)
Reported to Airservices Australia?	TBA when the final location is determined	TBA when the final location is determined

Figure 2 shows a typical steel lattice and guy wire construction.

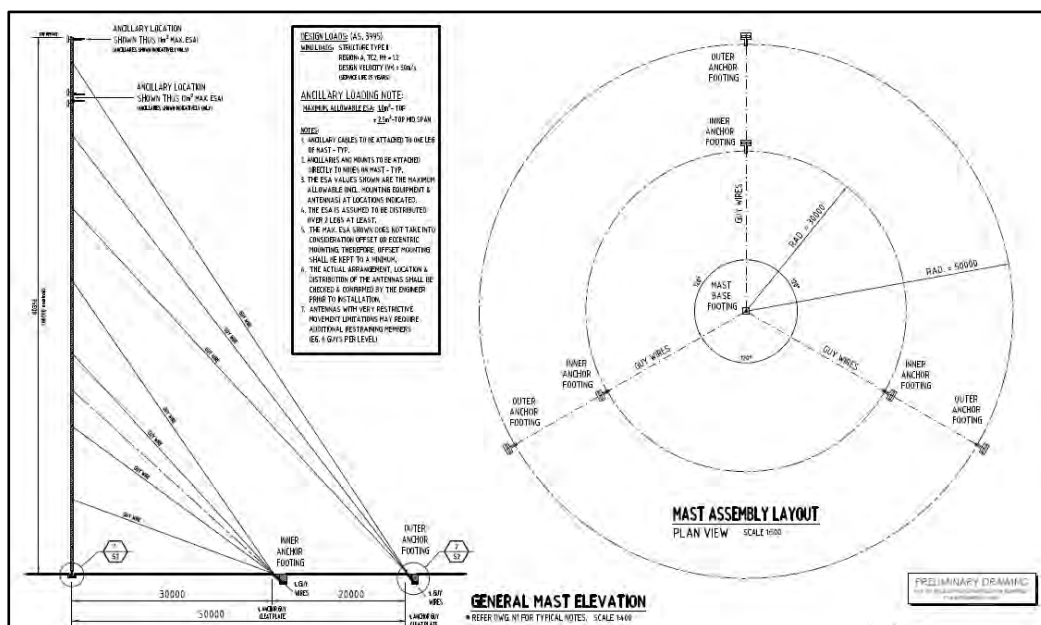


Figure 2 Typical Guyed Lattice Mast - general elevation

1.3. Narrogin Shire Council

There are two town planning documents on the Narrogin Shire Council's website: Local Planning Scheme No3 and Local Planning Strategy

1.3.1. Local Planning Scheme No 3 (May 2023)

The Narrogin Shire Council published the D11 – Local Planning Policy – Wind Farm Turbines. This local planning policy is formulated within the Shire of Narrogin Local Planning Scheme No. 3 (3 May 2023) framework, guided by the Planning and Development Act 2005 and the Planning and Development (Local Planning Schemes) Regulations 2015. It aims to provide clear guidelines for establishing and operating wind farms and turbines within the Shire of Narrogin while adhering to legislative requirements.

This policy aims to provide a framework for the assessment, approval, and regulation of wind farms and turbines within the Shire of Narrogin. The policy seeks to ensure that any proposed wind energy projects are developed in a manner that minimises negative impacts and maximises the benefits to the community and the environment. The aviation-related details are listed below:

Community Consultation

Developers should also liaise with relevant key stakeholders early in the process, including the Shire, Main Roads WA, Western Power, Civil Aviation Safety Authority (CASA), Air Services Australia, Royal Flying Doctor Service (RFDS), Department of Fire and Emergency Services (DFES), Department of Planning, Lands and Heritage (DPLH), Department of Water and Environmental Regulation (DWER), Department of Biodiversity, Conservation and Attractions (DBCA), Department of Primary Industries and Regional Development (DPIRD), Environmental Protection Authority (EPA), Local aerial spraying contractors, unlicensed airstrip owners (within a 5km radius of a turbine) and any relevant incorporated local aeronautical associations.

Other Potential Impacts

All wind farm and turbine developments must adhere to and comply with the regulations, specifications, and requirements outlined by the Civil Aviation Safety Authority (CASA) as though the Narrogin Airport and Airstrips were registered. This ensures that the development does not impede the potential future upgrade of the Narrogin Airport from its current unregistered CASA status to that of a Registered CASA Airport.

Wind farm proposals should not have negatively impact through interference with normal agricultural or farming activities of nearby rural properties, such as aerial spraying. An aviation assessment by a suitable qualified aviation consultant may be required to demonstrate turbines will not impact on aerial spraying activities of surrounding farms or unlicensed airstrips.

1.3.2. Local Planning Strategy (December 2019)

The planning strategy sets out the LGA's long-term planning directions and provides the rationale for any zoning or classification of land under the local planning scheme.

Narrogin airport is identified in the strategy as:

an important part of the Shire's transport network, particularly in terms of emergency services, and has been identified as having significant potential to be developed to accommodate a flying school for international pilots, a number of tourist related activities including but not limited to sky diving, gliding, hot air ballooning and scenic flights and an aviation theme residential estate.

Section 4.5 of the planning strategy (Transport) establishes the key issues, visions/objectives and strategies for transport infrastructure in the LGA, and includes a long-term strategy for Narrogin airport, to:

support and encourage an increase in air traffic volumes at the Narrogin Airport by increasing the services offered, improving utilisation of the existing facilities and creating opportunities for the establishment of complementary land uses subject to due consideration of potential impacts associated with the airport's continued operation to reduce any potential land use conflicts.

The Narrogin airport is recognised as an important component of the LGA transport strategy, particularly for providing aeromedical air transport services. The planning strategy references the 2013 Airport Master plan, which does not appear publicly available at this assessment.

1.4. Nearby certified aerodromes

No airport certified by the Civil Aviation Safety Authority (CASA) under Civil Aviation Safety Regulations (1998) (CASR) Part 139 is located within 30 nm of the proposed WMT sites.

The nearest certified airport is Katanning Airport (YKNG), approximately 51 nm (94 km) away from the proposed WMT sites.

Narrogin Airport (YNRG) is an uncertified airport within 30 nm of the project site. Based on D11—Local Planning Policy—Wind Farm Turbines, Narrogin Airport could potentially be upgraded to a certificated airport in the future.

Figure 3 shows the project site location relative to Narrogin Airport (YNRG) (Source: Lightsource BP, Google Earth). The orange circle represents a distance of 30 nm from the airport's aerodrome reference point (ARP).



Figure 3 Location of Narrogin Airport in relation to the proposed WMTs

1.5. Narrogin Airport (YNRG)

Narrogin Airport is an uncertified aerodrome. Narrogin Shire Council operates the airport, which has a published aerodrome elevation of 329 m AHD (1080 ft AMSL) (source: Airservices Australia (AsA), FAC, dated 21 March 2024).

Narrogin Airport's ARP coordinates published in Airservices Australia's FAC are Latitude 32°55'48" S and Longitude 117°04'48"E.

As Narrogin Airport is currently uncertified, no information on instrument procedures is available from Airservices Australia's public web page. Aviation Projects can therefore not assess instrument procedure-related data such as minimum sector altitude (MSA) and instrument procedures.

However, when Narrogin Airport is upgraded to a certified airport, if the WMT data has already been advised to Airservices Australia, the flight procedure designer will consider the WMTs as obstacles during the procedure design and will, therefore, not cause any infringement.

1.5.1. Narrogin Airport aircraft operations

It is understood that Narrogin Airport is used primarily for private and recreational flying operations, including gliding activity, conducted in visual conditions. It is understood the aerodrome is also used frequently by the Royal Flying Doctor Service (estimated as 200 arrivals annually according to Shire of Narrogin council meeting minutes), which may include night-time operations in visual meteorological conditions.

The aerodrome does provide runway lighting on runway 10/28, although the lighting system is not inspected by the Shire of Narrogin.

1.5.2. Aircraft operations at non-controlled aerodromes

Advisory Circular AC 91-10 v1.1 Operations in the vicinity of non-controlled aerodromes provides guidance for pilots flying at or in the vicinity of non-controlled aerodromes, with respect to CASR 91.

A conventional circuit pattern and heights are provided in AC 91-10 v1.1. The standard circuit consists of a series of flight paths known as legs when departing, arrival or when conducting circuit practice. Illustrations of the standard aerodrome traffic circuit procedures provided in AC 91-10 v1.1. are shown in Figure 4 and Figure 5.

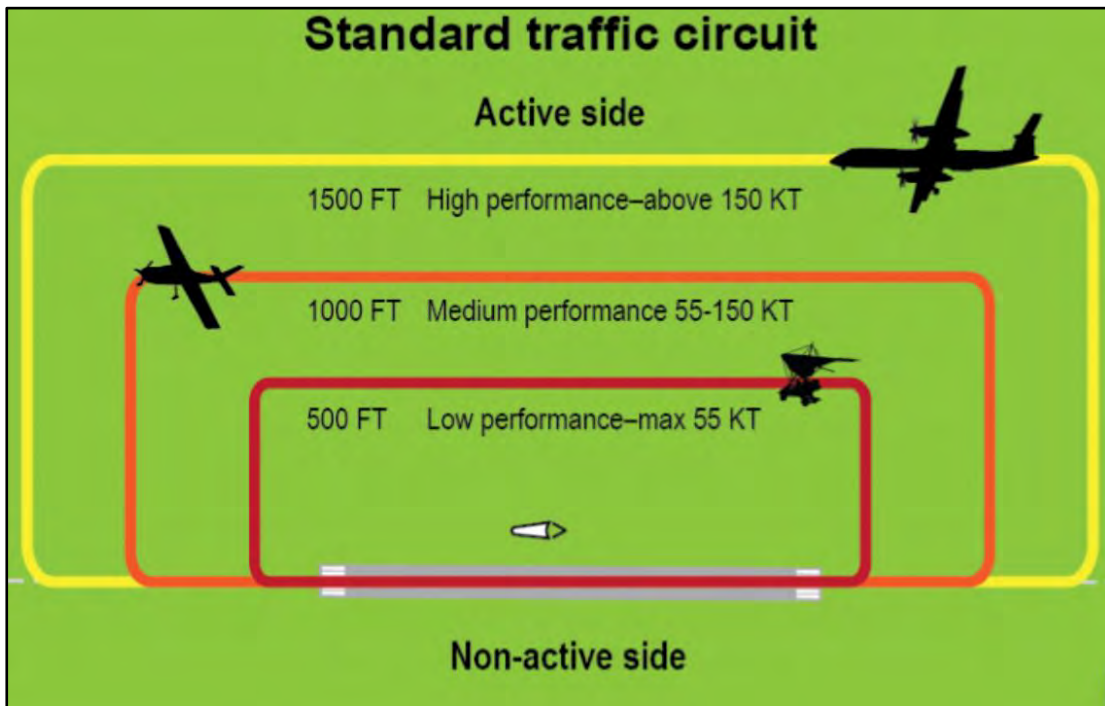


Figure 4 Lateral and vertical separation in the standard aerodrome traffic circuit

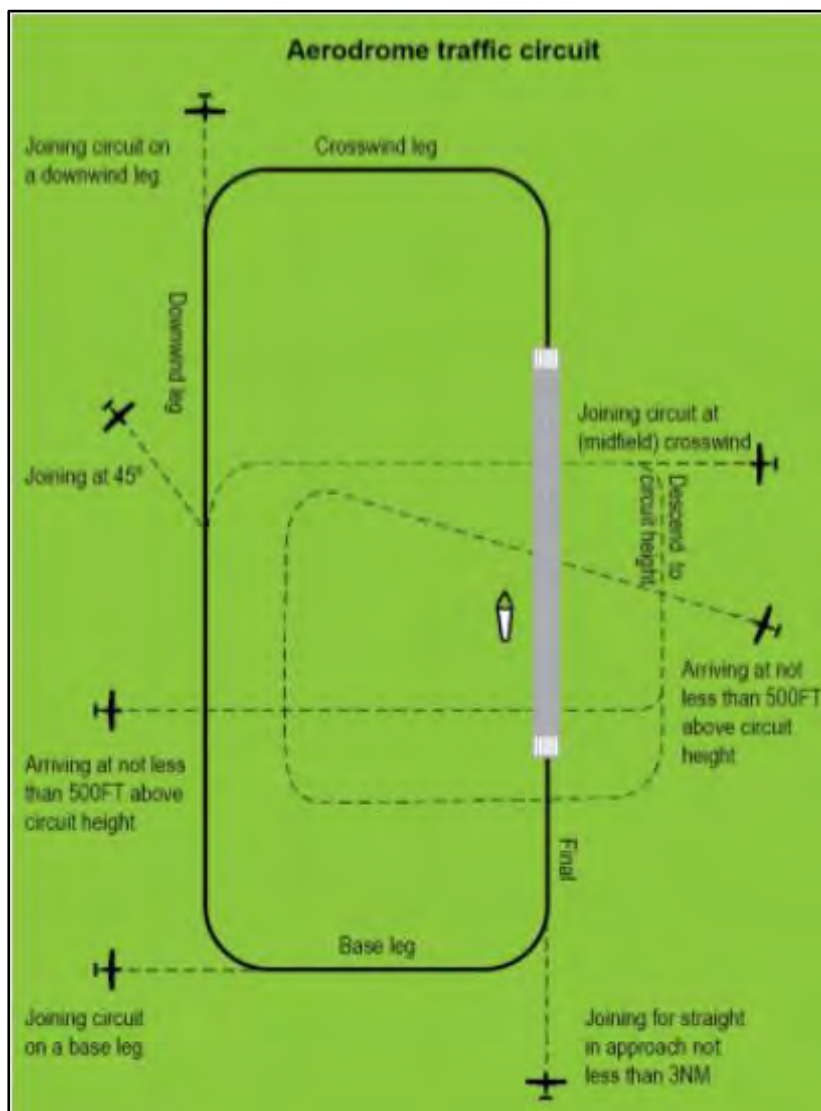


Figure 5 Aerodrome standard traffic circuit, showing arrival and joining procedures

AC 91-10 v1.1. paragraph 7.10 makes reference to a distance that is “normally” well outside the circuit area and where no traffic conflict exists, which is at least 3 nm (5556 m). The paragraph is copied below:

7.10 Departing the circuit area

7.10.1 Aircraft should depart the aerodrome circuit area by extending one of the standard circuit legs or climbing to depart overhead. However, the aircraft should not execute a turn to fly against the circuit direction unless the aircraft is well outside the circuit area and no traffic conflict exists. This will normally be at least 3 NM from the departure end of the runway, but may be less for aircraft with high climb performance. In all cases, the distance should be based on the pilot's awareness of traffic and the ability of the aircraft to climb above and clear of the circuit area.

All WMT locations are further than 3 nm of YNRG. Generally, aircraft operations at YNRG will not require aircraft to overfly the WMT locations while arriving or departing the aerodrome in normal operations, and aircraft operations at YNRG are not anticipated to be adversely affected by the WMT in any of the proposed locations.

1.5.3. IFR Circling areas

Narrogin Airport will have a circling approach once upgraded to a certificated airport. A circling approach extends an instrument approach to the specified circling minima (lowest altitude permitted without visual reference to the ground). At this point, the pilot will visually manoeuvre the aircraft to align with the runway for landing. Typically, a circling approach is only conducted where there is no runway-aligned instrument procedure or if the runway used for the approach procedure is not suitable for landing.

Circling areas are established by the instrument flight procedure designer based on ICAO specifications related to the performance category of the designed aircraft. The circling area is determined by drawing an arc centred on the threshold of each usable runway and joining these arcs by tangents.

The radii for each relevant category of aircraft related to Narrogin Airport are provided below:

- Category A – 1.70 nm / 3.15 km
- Category B – 2.72 nm / 5.04 km
- Category C – 4.30 nm / 7.96 km
- Category D – 5.40 nm / 10.00 km

The closest WMT (Met Mast Central) is approximately 23 km from the runway end at Narrogin Airport and will not impact circling areas established for instrument flight procedures.

1.5.4. Obstacle limitation surfaces

Obstacle Limitation Surface (OLS) is established for each certified aerodrome runway. The maximum lateral extent of the OLS is up to 6 km for the conical surface and 15 km for the take-off and approach surfaces.

If Narrogin Airport is upgraded to a certificated airport, the proposed WMTs will be located beyond the extent of the airport OLS.

1.6. Nearby aircraft landing areas (uncertified aerodromes)

A search of various aviation datasets identified Aircraft Landing Areas (ALAs) near the project area. These are non-certified aerodromes and are not subject to CASR Part 139 regulations.

The aviation datasets used for the search are:

- AIP aeronautical charts effective 13 June 2024.
- OzRunways – which sources its data from Airservices Australia (AIP). The aeronautical data provided by OzRunways is approved under CASA CASR Part 175.
- Australian Government National Map online.

As a guide, an area of interest within a 3 nm radius of an ALA is used to assess the potential impacts of proposed developments on aircraft operations at or near the ALA.

Figure 6 shows the location of nearby ALA relative to the project site and a nominal 3 nm buffer from the closest ALA (source: Lightsource BP, Google Earth).

The proposed WMTs are not located within 3 nm of any nearby ALA.

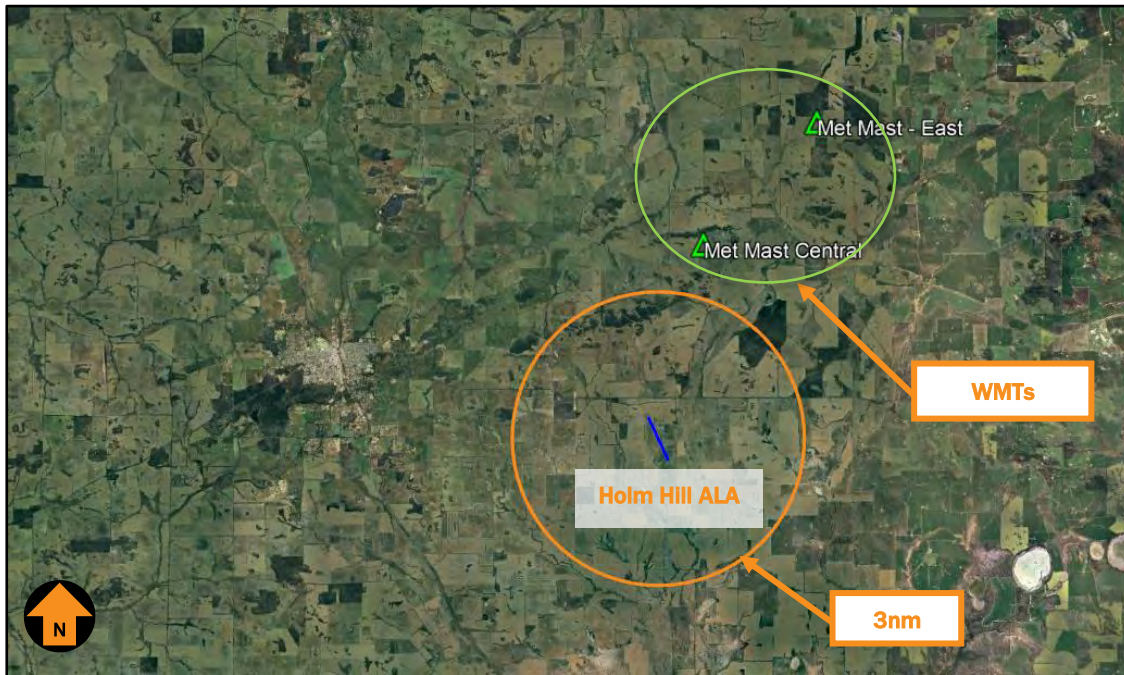


Figure 6 ALA in the vicinity of the project site.

1.7. Air routes and Grid LSALT

MOS 173 requires that the published lowest safe altitude (LSALT) for a particular airspace grid or air route provides a minimum of 1000 ft clearance above the controlling (highest) obstacle within the relevant airspace grid or air route tolerances.

1.7.1. Grid LSALT

The proposed WMTs are within an airspace grid with the LSALT of 3000 ft AMSL, which provides clearance above obstacles with heights up to 2000 ft AMSL.

Figure 7 shows the grid LSALT in proximity to the WMTs (source: ERC Low National, OzRunways, May 2024, Google Earth).

The highest WMT height is 540 m AHD (1771.7 ft AMSL), below the 2000 ft obstacle height limit.

Therefore, the WMTs will not impact the 3000 ft Grid LSALT.

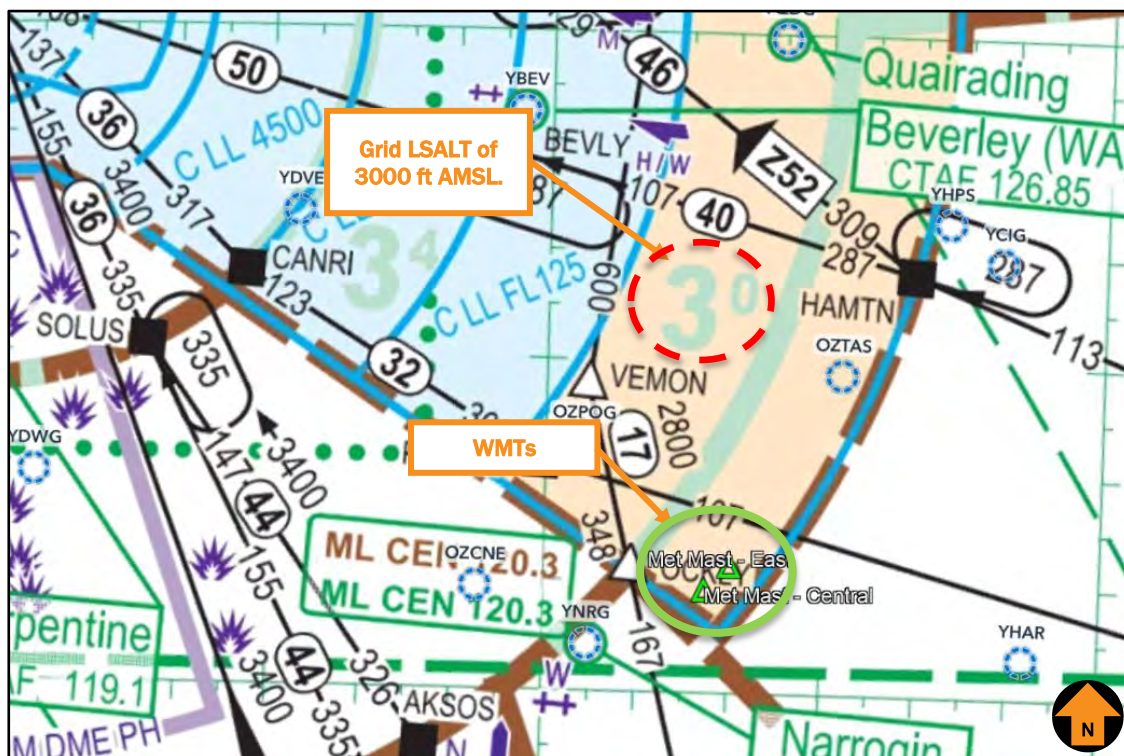


Figure 7 Grid LSALTs in proximity to the WMTs.

1.7.2. Air Route LSALTs

A protection area 7 nm laterally on either side of an air route is used to assess the LSALT for the air route.

Few air routes are within 7 nm of the WMT sites. The highest WMT height is 540 m AHD (1771.7 ft AMSL). Table 2 provides an impact analysis of the surrounding air routes, showing that the WMTs are below the air route LSALT.

Therefore, there is no impact on the air route LSALT.

Table 2 Air route impact analysis

Air route	Waypoint pair	Route LSALT	Protection Surface	Covered WMTs	Impact on airspace design	Potential solution	Impact on aircraft ops
W185	OCKLY to/from PAVSO	3800 ft AMSL	2800 ft AMSL	Met Mast Central	Nil	N/A	N/A
H44	PUMRY to ESP VOR	3000 ft AMSL	2000 ft AMSL	Met Mast East	Nil	N/A	N/A

1.8. Airspace

The highest WMT is 540 m AHD (1771.7 ft AMSL), which will be lower than the vertical limits of Perth controlled airspace Class A and E (above 8500 ft). Therefore, the WMTs are located within the Class G airspace (non-controlled airspace). The WMTs are also not located in any Prohibited, Restricted or Danger areas.

Therefore, the proposed WMTs will not impact controlled or designated airspace.

1.9. Aviation navigation facilities

Part 139 MOS 2019 specifies the protection of Communication, Navigation and Surveillance Systems (CNS) from development, which may affect the function of these systems.

The proposed WMTs are not located within the prescribed clearance zones or areas of interest specified in Part 139 MOS 2019 Chapter 19 and will not affect CNS facilities.

1.10. ATC Surveillance Radar Systems

Airservices Australia currently requires an assessment of the potential for wind farms to affect radar lines of sight.

The open lattice construction of slim wind monitoring towers does not impact ATC Surveillance Radar Systems.

1.11. Civil Aviation Safety Authority - regulatory context

The Civil Aviation Safety Authority (CASA) regulates aviation activities in Australia. Applicable requirements include the Civil Aviation Regulations 1988 (CAR), Civil Aviation Safety Regulations 1998 (CASR), Advisory Circular (AC) 139 E 0.1-v1.0 and AC.139 E 0.5-v1.1. Relevant provisions are outlined in further detail in the following section.

1.11.1. Civil Aviation Safety Regulations 1998, Part 139—Aerodromes

CASR 139.165 requires the owner of a structure (or proponents of a structure) that will be 100 m or more above ground level to inform CASA. This must be given in written notice and contain information on the proposal, the height and location(s) of the object(s) and the proposed timeframe for construction. This is to allow CASA to assess the effect of the structure on aircraft operations and determine whether or not the structure will be hazardous to aircraft operations.

The proponent of the WMTs is required to report the WMTs to CASA in accordance with CASR 139.165, as soon as practicable after forming the intention to construct or erect the proposed object or structure.

The notification should be provided to CASA via email to Aerodromes@casa.gov.au and Airspace.Protection@casa.gov.au.

1.11.2. Advisory Circular 139.E-01 v1.0—Reporting of Tall Structures

Advisory Circular (AC) 139.E-01 v1.0—*Reporting of Tall Structures*, CASA guides those authorities and persons involved in the planning, approval, erection, extension or dismantling of tall structures so that they may understand the vital nature of the information they provide.

2.2.1 The hazards that such buildings or structures may pose to aircraft requires assessment. CASA routinely performs such assessments however needs to be first notified of the obstacle, structure of source of a hazardous plume. The need to report such hazards is outlined in this AC.

2.2.2 If you are the person who owns, controls or operates the object, structure or a source of a hazardous plume which is either present, imminent or has been approved for erection/construction, details need to be provided about:

- the construction, extension or dismantling of tall structures if the top is:
 - o 100 m or more above ground level
 - or
 - o affects the obstacle limitation surface of an aerodrome as defined in

2.2.3 In addition, tall structures may pose a specific hazard for the operation of low-flying Defence aircraft or to the flight paths of arriving/departing aircraft (refer Paragraph 2.1.3). Therefore, the RAAF and Airservices Australia require information on structures that are 30 m or more above ground level—within 30 km of an aerodrome or 45 m or more above ground level elsewhere for the RAAF, or 30 m or more above ground level elsewhere for Airservices Australia.

2.2.4 Information provided for the database should be accurate and readily interpreted. The tall structure report form has been designed to help owners and/or developers in this respect. The form is available on the Airservices Australia website (including a spreadsheet for reporting multiple structures) at: <https://www.airservicesaustralia.com/industry-info/airport-development-assessments/>

1.11.3. Advisory Circular AC 139.E-05-v1.1 Obstacles including wind farms outside the vicinity of a CASA certified aerodrome – October 2022

AC 139.E-05-v1.1 provides advice about the lighting and marking of wind farms and other tall structures in submissions to planning authorities who are considering a wind farm or tall structure proposal.

2.1.2 Regardless of CASA advice, planning authorities make the final determination whether a wind farm or a tall structure not in the vicinity of a CASA regulated aerodrome will require lighting or marking.

2.2.1 All wind turbine developments and tall structures should be assessed to determine whether they could be a risk to aviation safety. This AC augments the information in the National Aerodromes Safeguarding Framework (NASF) Guideline D and provides additional guidance on the assessment of wind farm developments and guidance for establishing what reasonable measures may be put in place to mitigate any adverse effect the wind farm development could be to aviation safety.

2.2.2 For the purposes of this AC, navigable airspace is considered to be the airspace above the minimum altitudes of VFR and IFR flight, including airspace required to ensure the safe take-off and landing of an aircraft. Generally, minimum altitude limits equate to 500 ft (152 m) or 1 000 ft (305 m) above ground level depending on the situation, i.e., whether or not the flying is over a populous area. The presence of wind turbines, wind monitoring masts and other tall obstacles may create a risk to the safety of flight, due to the risk of collision. An entity that is proposing to introduce a hazard into navigable airspace, such as a wind farm, must mitigate the risk of the hazard on airspace users to ensure an acceptable level of safety is maintained.

2.2.4.1 Part 139 of the Civil Aviation Safety Regulations 1998 (CASR), regulates obstacles within the vicinity of certified aerodromes. This is supported by Part 139 (Aerodromes) Manual of Standards (MOS) which provides the definition of an obstacle as well as the standards for marking and lighting of an obstacle. Any wind turbine (where the height is defined to be the maximum height reached by the tip of the turbine blades), wind monitoring mast or other tall structure that penetrates an Obstacle Limitation Surface (OLS) of an aerodrome will be assessed in accordance with the provisions of Part 139 of CASR and the MOS.

2.2.6.1 Outside the vicinity of an aerodrome, which is defined as being outside the OLS of an aerodrome, wind farms and other tall structures may constitute a risk to low-flying aviation operations which may be conducted down to 500 ft above ground level (AGL) over non-populous areas. Additionally, wind monitoring masts can also be hazardous to aviation, given they are very thin and difficult to see. Wind farms can also affect the performance of communications, navigation and surveillance (CNS) equipment operated by Airservices or the Department of Defence.

2.5 Aviation hazard lighting - International best practice

2.5.2 Australian regulations state that aircraft in uncontrolled airspace may operate under visual flight rules (VFR), which requires the pilot to remain clear of clouds and to adhere to visibility minima.

- in Class G airspace below 3000 ft Above Mean Sea Level (AMSL) or 1000 ft AGL (whichever is the higher) – remain clear of cloud with minimum visibility of 5000 m.
- in Class G airspace below 10 000 ft AMSL (subject to the above) – remain 1000 ft vertically and 1500 m horizontally from cloud and with 5000 m visibility.

Note: Helicopters may be permitted to operate in lower visibility and that further exemptions may apply to special cases such as military, search and rescue, medical emergency, agricultural and fire-fighting operations.

2.5.4 2000 candela medium intensity obstacle lighting recommendation satisfies the 5000 m VFR visibility requirements, according to practical exercises undertaken by the FAA and documented in AC 70/7460-1L (FAA, 2015).

2.5.5 In Australia, CASA has accepted the use of 200 candela lighting in some circumstances due to a lack of back lighting in rural and remote areas, meaning that a lower intensity light is still visible to pilots at an acceptable distance to permit a pilot to see and avoid the obstacle.

2.6 Hazard Lighting

2.6.1 This describes the reasoning behind CASA's preference to recommend aviation hazard lighting for tall structures and aircraft detection systems for wind farms.

2.6.2 Hazard lighting for wind farms and other tall structures is intended to alert pilots, flying at low altitude, to the presence of an obstacle allowing them sufficient awareness to safely navigate around or avoid it. The pilot is responsible for avoiding other traffic and obstacles based on the "alerted" see-and-avoid principle.

2.6.3 Unless the wind farm or tall structure is located near an airport, it is not expected to pose a risk to regular public transport operations. The kind of air traffic that is usually encountered at low altitude in the vicinity of a wind farm or tall structure includes light aircraft (private operators, flight schools, sport aviation, agricultural, survey, fire spotting and control) and helicopters (military, police, medical emergency services, survey, fire spotting and control). Hazard lights are therefore designed to provide pilots with sufficient awareness about the presence of the structure(s), so they can avoid it. This means that the intensity of the hazard lights should be such that the acquisition distance is sufficient for the pilot to recognise the danger, take evasive action and avoid the obstacle by a safe margin in all visibility conditions. This outcome considers the potential speed of an aircraft to determine the distance by which the pilot must become aware of the obstacle to have enough time and manoeuvrability to avoid it.

2.7 CASA's commitment to aviation safety

2.7.1 CASA will consider the lighting intensity management and systems that achieve an acceptable level of aviation safety on a case-by-case basis during its assessment.

2.7.2 A CASA determination will consider the environmental setting when determining the need and level of lighting required on a wind farm or tall structure. This may include consideration of lower lighting intensities for obstacles away from an aerodrome. The backlighting of some locations is almost non-existent, meaning the risk of an aviation hazard light being compromised by background lighting from a rural and remote town is lower than would otherwise apply in a residential area closer to a city.

There is no regulatory requirement to provide obstacle lighting on the WMTs. Generally, for WMTs that will be installed prior to WTG installation and WMTs that are not in close proximity to a WTG, the voluntary provision of obstacle lighting should be considered to ensure visibility in low light and deteriorating atmospheric conditions. CASA will review the WMTs for potential hazards to aircraft operations and may recommend lighting the WMTs.

1.12. National Airport Safeguarding Framework Guideline D

National Airport Safeguarding Framework (NASF) Guideline D: Managing the Risk To Aviation Safety of Wind Turbine Installation (Wind Farms)/Wind Monitoring Towers provides guidance to State/Territory and local government decision-makers, airport operators and developers of wind farms to jointly address the risk to civil aviation arising from the development, presence and use of wind farms and wind monitoring towers.

When wind turbines over 150 metres above ground level are to be built within 30 kms of a certified or registered aerodrome, the proponent should notify the Civil Aviation Safety Authority (CASA) and Airservices. If the wind farm is within 30km of a military aerodrome, Defence should be notified.

The Aeronautical Information Service of the Royal Australian Air Force (RAAF AIS) maintains a database of tall structures in the country. The RAAF AIS should be notified of all tall structures meeting the following criteria:

- 30 metres or more above ground level for structures within 30km of an aerodrome; or
- 45 metres or more above ground level for structures located elsewhere.

Marking and lighting of wind monitoring towers

Before developing a wind farm, it is common for wind monitoring towers to be erected for anemometers and other meteorological sensing instruments to evaluate the suitability or otherwise of a site. These towers are often retained after the wind farm commences operations to provide the relevant meteorological readings. These structures are very difficult to see from the air due to their slender construction and guy wires. This is a particular problem for low flying aircraft including aerial agricultural operations. Wind farm proponents should take appropriate steps to minimise such hazards, particularly in areas where aerial agricultural operations occur. Measures to be considered should include:

- *the top 1/3 of wind monitoring towers to painted in alternating contrasting bands of colour. Examples of effective measures can be found in the Manual of Standards for Part 139 of the Civil Aviation Safety Regulations 1998. In areas where aerial agriculture operations take place, marker balls or high visibility flags can be used to increase the visibility of the towers;*
- *marker balls or high visibility flags or high visibility sleeves placed on the outside guy wires;*
- *ensuring the guy wire ground attachment points have contrasting colours to the surrounding ground/vegetation; or*
- *a flashing strobe light during daylight hours.*

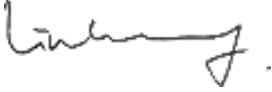
1.13. Summary

The following list of findings summarises the outcome of this assessment, based on the maximum height of 160 m AGL / 540 m AHD (1771.7 ft AMSL):

- There are no certified airports located within 30 nm (56 km) of the Project.
- The WMTs are not anticipated to affect the operation of aircraft at Narrogin Airport adversely.
- Narrogin Airport will potentially upgrade to a certificated airport. The proposed WMTs are located beyond the circling areas and OLS surfaces. If the WMT data has already been advised to Airservices Australia before the Narrogin Airport upgrades to a certificated airport, the flight procedure designer will consider the WMTs as obstacles during design, and they will not cause any infringement.
- No aircraft landing area (ALA) is identified within 3 nm of the WMT sites.
- The WMTs will not affect any grid or airway route segment LSALT.
- The WMTs will not have an impact on controlled or designated airspace.
- Marking the WMTs is not mandatory. However, the following markings are recommended to be implemented in consideration of potential day VFR aerial work and military aircraft training operations in accordance with NASF Guideline D:
 - obstacle marking for at least the top 1/3 of the mast and be painted in alternating contrasting bands of colour
 - marker balls or high visibility flags or high visibility sleeves placed on the outside guy wires; and
 - guy wire ground attachment points in contrasting colours to the surrounding ground/vegetation.
- There is no regulatory requirement to provide obstacle lighting on the WMTs. Generally, for the WMTs that will be installed prior to WTG installation and the WMTs that are not in close proximity to a WTG, the voluntary provision of obstacle lighting should be considered to ensure visibility in low light and deteriorating atmospheric conditions. CASA will review the WMTs for potential hazards to aircraft operations and may recommend lighting the WMTs.
- Due to exceeding 100 m AGL, details of the WMTs must be reported to CASA as soon as practicable after forming the intention to construct or erect the proposed object or structure in accordance with CASR Part 139.165(1)(2). The notification should be provided to CASA via email to Aerodromes@casa.gov.au and Airspace.Protection@casa.gov.au.
- 'As constructed' details of the WMT coordinates and elevation should be provided to Airservices Australia, by submitting the form at this webpage: https://www.airservicesaustralia.com/wp-content/uploads/ATS-FORM-0085_Vertical_Obstruction_Data_Form.pdf to the following email address: airport.developments@airservicesaustralia.com

If you wish to clarify or discuss of the contents of this correspondence, please contact me on 0433 747 835.

Kind regards



Lyn Wang

Specialist Aviation Consultant

27 May 2024

10.1.2 REQUEST FOR QUOTES (23/24-02) - PROVISION OF DOMESTIC KERBSIDE PUTRESCIBLE AND RECYCLING COLLECTION SERVICES PROCUREMENT

File Reference	11.3.4
Disclosure of Interest	Neither the Author nor Authorising Officer have any Impartiality, Financial or Proximity Interests that requires disclosure.
Applicant	Shire of Narrogin
Previous Item Numbers	Nil
Date	17 June 2024
Author	Peter Toboss – Manager Environmental Health Services
Authorising Officer	Azhar Awang – Executive Manager Development and Regulatory Services
Attachments 1. Request for Quotes documents submitted by Great Southern Waste Disposal (GSWD) (Commercial In Confidence – Under Separate Cover)	

Summary

Council's consideration is requested to consider the Request for Quotes (RFQ 23/24-02) through the WALGA Preferred Supplier program for the provision of domestic kerbside putrescible and recycling collection which closed on Wednesday 12 June 2024.

Background

The Shire of Narrogin currently contract out the provision of kerbside putrescible and recycling collection to Great Southern Waste Disposal with the current contract expiring at the end of June 2024.

The provision for the waste collection is for a weekly kerbside collection for putrescible waste and a fortnightly collection service for recycling waste within the Shire of Narrogin. Additionally, the Shire of Narrogin has an agreement in place with the Shire of Cuballing to facilitated similar collection services. The term of the contract is for a period of four (4) years with the expected commencement date as of 1 July 2024 and ending on 30 June 2028. An additional four (4) years extension may be entered into, or the services will be retendered.

The Shire of Narrogin advertised a Request for Quotation (RFQ) on 29 May 2024 via WALGA Preferred Supplier ePortal and closed on 12 June 2024 at 4.00 pm. The RFQ was to seek submissions from suitable qualified suppliers for the Provision of Domestic Putrescible and Recycling Collection Services. The request for quotes also included the Shire of Cuballing request for the provision of kerbside collection for domestic putrescible and recycling waste.

At close of RFQ on 12 June 2024 at 4.00 pm, only one (1) submission was received from Great Southern Waste Disposal (GSWD). The GSWD RFQ was submitted both as a hard copy and electronic via the request for quotation email.

The opening of the Request for Quotes was conducted by the Chief Executive Officer and the Executive Manager Corporate and Community Services.

Consultation

Consultation occurred with the following;

- Chief Executive Officer;
- Executive Manager Development and Regulatory Services; and
- Shire of Cuballing.

It should be noted that the Shire of Cuballing is assessing their options separately however has no bearing on the decision for the Shire of Narrogin and this recommendation directly.

Statutory Environment

The following legislation applies.

Local Government (Functions and General) Regulations 1996, Regulation 11(2)

“11 When tenders have to be publicly invited

(2) Tenders do not have to be publicly invited according to the requirements of this Division if —

- (a). the supply of the goods or services is to be obtained from expenditure authorised in an emergency under section 6.8(1)(c) of the Act; or*
- (b). the supply of the goods or services is to be obtained through the WALGA Preferred Supplier Program.”*

Waste Avoidance and Resource Recovery Act 2007.

Policy Implications

Purchasing Policy – 3.2 Regional Price Preference Policy.

The design of the RFQ has considered that there has been significant policy, regulatory and industry change within the waste and resource recovery sector. The project has been informed through careful consideration of these changes to ensure progression towards administering kerbside reform and meeting the targets of the Western Australian State Government’s objectives for reducing waste and encouraging resource recovery and its alignment to the Waste Avoidance and Resource Recovery Strategy 2030.

Financial Implications

The Shire of Narrogin’s long term financial plan includes projections and assumptions regarding the cost of kerbside waste and recycling collection services. This RFQ will allow Council to project the cost of these services more accurately over the long term.

It should be noted that the current (2023/24 financial year) pick up rate is \$1.02 per collection of a 240L bin for Putrescible and \$3.05 for Recycle waste.

The anticipated future (2024/25) annual costs for the waste service, based on the quoted price (weekly collection for general waste and fortnightly collection for Recycling waste) are:

Annual Refuse collection cost (\$1.21) x 3,265 (Shire of Narrogin) x 52 collections = \$205,433.80 *including* GST per annum.

Annual Recycling collection cost (\$3.63) x 2,049 (Shire of Narrogin) x 26 collections = \$193,384.62 *including* GST per annum.

This equates to an increase of approximately 20% for the pick up of bins.

As a joint RFQ with the Shire of Cuballing, the quote provided in the RFQ for the Shire of Cuballing is significantly higher with the collection rate per bin of \$2.86 for Putrescible; and \$5.06 per bin for Recycling. It should be noted that the rates for Narrogin with or without Cuballing's service (or whether they accept the Quote), does not change.

It should be noted that the fees and charges for the Putrescible and Recycle service collections for the 2024/25 financial year are yet to be confirmed. The 2023/24 fees and charges for the relevant services per annum are as follows;

- Putrescible - \$251.16; and
- Recycle - \$94.64.

As these are both designed around the principle of *cost recovery* services provided by the Shire, it will not have an impact in any form of increased rates however will inform a need to increase the collection charges. The Administration will now need to model these impacts on the Waste & Recycling Service Plan and what this might equate to in terms of a percentage increase in these two charges, separate to the rates.

It should also be noted that the Quoted Price includes a CPI increase on 1 July each year.

Strategic Implications

Shire of Narrogin Strategic Community Plan 2017-2027		
Objective:	3.	Environment Objective (Conserve, protect and enhance our natural and built environment)
Outcome:	3.1	A preserved natural environment
Strategy:	3.1.1	Conserve, enhance, promote and rehabilitate the natural environment
Outcome:	3.2	Effective waste services
Strategy:	3.2.1	Support the provision of waste services
Outcome:	3.3	Efficient use of resources
Strategy:	3.3.1	Increase resource usage efficiency
Outcome:	3.4	A well maintained built environment
Strategy:	3.4.1	Improve and maintain built environment

Risk Implications

Risk	Risk Likelihood	Risk Impact / Consequence	Risk Rating	Principal Risk Theme	Risk Action Plan (Controls or Treatment proposed)
<p>The provision of waste and recycling collection services is an essential role of local government. The Administration has complied with procurement requirements, however despite best endeavours, failed to attract competition to help determine whether the pricing supplied by the Shire's current contractor is market competitive. The Council has little option other than to accept the quotes within the submission. The risk therefore is to not accept the quote and either 'back to market' or to attempt to negotiate with the current and preferred contractor. Both of these options have been canvassed; however, it is not recommended.</p>	Unlikely (2)	Major (4)	Medium (5-9)	Business & Community Disruption	Accept Officer Recommendation, noting that the market has been tested.

Risk Matrix

Consequence		Insignificant	Minor	Moderate	Major	Catastrophic
Likelihood		1	2	3	4	5
Almost Certain	5	Medium (5)	High (10)	High (15)	Extreme (20)	Extreme (25)
Likely	4	Low (4)	Medium (8)	High (12)	High (16)	Extreme (20)
Possible	3	Low (3)	Medium (6)	Medium (9)	High (12)	High (15)
Unlikely	2	Low (2)	Low (4)	Medium (6)	Medium (8)	High (10)
Rare	1	Low (1)	Low (2)	Low (3)	Low (4)	Medium (5)

A risk is often specified in terms of an event or circumstance and the consequences that may flow from it. An effect may be positive, negative or a deviation from the expected and may be related to the following objectives; occupational health and safety, financial, service interruption, compliance, reputation and environment. A risk matrix has been prepared and a risk rating of nine (9) has been determined for this item. Any items with a risk rating over 10 (considered to be high or extreme risk) will be added to the Risk Register, and any item with a risk rating over 16 will require a specific risk treatment plan to be developed.

Comment/Conclusion

The provision of domestic kerbside putrescible and recycling collection was advertised through the WALGA eQuotes Portal and closed on 12 June 2024. The RFQ document was sent to five (5) WALGA preferred suppliers through the WALGA eQuotes portal as follows:

- Great Southern Waste Disposal;
- Avon Waste;
- Cleanaway;
- Veolia Waste Management;
- Warren Blackwood Waste; and
- Suez.

Only one (1) written quotation was received, this was from Great Southern Waste Disposal. All six (6) companies that were requested to provide a quote are prequalified WALGA preferred suppliers and have relevant experience for these works.

The RFQ was publicly advertised as required in the Purchasing Policy.

Officers believe that appropriate consultation has occurred, and the matter is now presented to Council for consideration.

Voting Requirements

Simple Majority

OFFICERS' RECOMMENDATION

That with respect to awarding the Request for Quotes (FRQ 23/24-02) through the WALGA Preferred Supplier program for the provision of domestic kerbside putrescible and recycling collection, Council.

1. Award the contract to Great Southern Waste Disposal for the Provision of Domestic Putrescible & Recycling Kerbside Collection Services for a four (4) year term with an option of an additional four (4) year extension, at the following commencement rate:
 - (i) a rate of \$1.21 including GST per bin collection for Putrescible waste; and
 - (ii) a rate of \$3.63 including GST per bin collection for Recycle waste.
2. Authorise the Chief Executive Officer to execute and manage the contract, including any variations, providing these variations do not exceed the total allocated provision within the Adopted Budget.
3. Authorise the Shire President and Chief Executive Officer to sign and affix the common seal to the contractual documents.
4. Note that the Administration will now need to model these impacts on the Waste & Recycling Service Plan and what this might equate to in terms of a percentage increase in these two charges, separate to the rates, for consideration by the Council as part of the 2024/25 Shire Budget deliberations.

10.1.3 PROPOSED MOTEL DEVELOPMENT AT LOT 89 (NO.115) FEDERAL STREET, NARROGIN

File Reference	A163600
Disclosure of Interest	Neither the Author nor Authorising Officer have any Impartiality, Financial or Proximity Interests that requires disclosure.
Applicant	Nowgen on behalf of Chloe Blight (Landowner)
Previous Item Numbers	Nil
Date	19 June 2024
Author	Kiralee Harris – Planning Assistant
Authorising Officer	Azhar Awang – Executive Manager of Development & Regulatory Services
Attachments 1. Development Application	

Summary

Council's consideration is requested in regard to the development application submitted by the applicant Nowgen on behalf of Chloe Blight (Landowner) for the proposed conversion of an art gallery/ café to a Motel at Lot 89 (No.115) Federal Street, Narrogin.

Background

In May 2024, the Shire of Narrogin received a planning application for the proposed development of a motel on Lot 89, (No.115) Federal Street, Narrogin. Payment for the planning application fee was received on 14 June 2024.

The applicant has outlined the process to convert the existing use into a Motel. The development involves removing the existing vegetation and infrastructure, as indicated on the provided site plan (see Attachment). The proposal will include:

- Installation of 3 prefabricated single bedroom unit with ensuite, kitchen and dining/living area, one of which will be an accessible unit. The total area of each unit is approximately 23.30 m²;
- Provision of 7 parking bays; and
- Establishment of 1 unloading area for goods and services.

The applicant estimates that the development will be completed within 12 months from the date of approval.

A full copy of the development application received, including supporting documentation and plans, is provided in Attachment 1.

Consultation

The proposed Motel is listed an 'A' use in LPS 3, which means that the use is not permitted unless the local government has exercised its discretion by granting development approval after advertising the application in accordance with clause 64 of the deemed provisions.

Clause 64(1)(a) of the deemed provisions in the Planning and Development (Local Planning Schemes) Regulations 2015 states the following:

"64. Advertising applications

(1) The local government —

- (a) must advertise a complex application for development approval in accordance with subclause (3); and*
- (b) must advertise an application for development approval in accordance with subclause (4) if the application is not a complex application and —*
 - (i) relates to development that is a class A use in relation to the zone in which the development is located; or*
 - (ii) relates to the extension of a non-conforming use; or*
 - (iii) relates to development that does not comply with the requirements of this Scheme; or*
 - (iv) relates to development for which the local government requires a heritage assessment to be carried out under clause 11(1); or*
 - (v) is of a kind identified elsewhere in this Scheme as an application that is required to be advertised; and*
- (c) may advertise any other application for development approval in accordance with subclause (4)."*

Subclause (4) states:

"(4) For the purposes of subclause (1)(b) or (c), an application that is not a complex application is advertised by doing any or all of the following, as determined by the local government —

- (a) publishing in accordance with clause 87 —*
 - (i) a notice of the proposed development in the form set out in clause 86(3); and*
 - (ii) the application for development approval; and*
 - (iii) any accompanying material in relation to the application that the local government considers should be published;*
- (b) giving notice of the proposed development to owners and occupiers of properties in the vicinity of the development who, in the opinion of the local government, are likely to be affected by the granting of development approval;*
- (c) erecting, in the manner and form approved by the Commission, a sign or signs in a conspicuous place on the land the subject of the application giving notice of the proposed development in the form set out in clause 86(3)."*

Consultation has been made with the Shire's Regional Building Surveyor; and has provided the following comments:

- A BA1 application will be required to be submitted.
- The proposed building is classified 6 café and class 1b motel if not exceeding 300m² and not more than 12 residents.
- The buildings will need to be fire separated in accordance with NCC volume 1 section C (Class 6) and Volume 2-part H3 (Class 1b).

- An Accessible parking bay is required to be provided under NCC part D4D6 and AS2890.6

Statutory Environment

The following Acts, Regulations and Schemes that apply to this item include:

- Shire of Narrogin – Local Planning Scheme No. 3;
- Planning and Development (Local Planning Schemes) Regulations 2015 Deemed provisions for local planning schemes, Schedule 2; and
- Planning and Development Act 2005.

Policy Implications

Nil

Financial Implications

Application for Planning Consent Fee to the value of \$2,034.10 has been paid to the Shire of Narrogin and borne by the applicant.

Strategic Implications

Shire of Narrogin Strategic Community Plan 2017-2027		
Outcome:	1.1	Growth in revenue opportunities
Strategy:	1.1.1	Attract new industry, business, investment and encourage diversity whilst encouraging growth of local business
Strategy:	1.1.2	Promote Narrogin and the Region

Risk Implications

Risk	Risk Likelihood	Risk Impact / Consequence	Risk Rating	Principal Risk Theme	Risk Action Plan (Controls or Treatment proposed)
Potential increase in traffic resulting in on Street parking along Federal Street.	Possible (3)	Minor (2)	Medium (5-9)	Compliance Requirements	Control through car parking design and traffic management.
Objection from adjoining properties and stakeholders may require additional conditions to be applied to address the concerns raised by the objector.	Possible (3)	Moderate (3)	Medium (5-9)	Compliance Requirements	Control through planning conditions to address any concerns by objectors.

Risk Matrix

Consequence Likelihood		Insignificant	Minor	Moderate	Major	Catastrophic
		1	2	3	4	5
Almost Certain	5	Medium (5)	High (10)	High (15)	Extreme (20)	Extreme (25)
Likely	4	Low (4)	Medium (8)	High (12)	High (16)	Extreme (20)
Possible	3	Low (3)	Medium (6)	Medium (9)	High (12)	High (15)
Unlikely	2	Low (2)	Low (4)	Medium (6)	Medium (8)	High (10)
Rare	1	Low (1)	Low (2)	Low (3)	Low (4)	Medium (5)

A risk is often specified in terms of an event or circumstance and the consequences that may flow from it. An effect may be positive, negative or a deviation from the expected and may be related to the following objectives; occupational health and safety, financial, service interruption, compliance, reputation and environment. A risk matrix has been prepared and risk ratings of six (6) and nine (9) have been determined for these items. Any items with a risk rating over 10 or greater (considered to be high or extreme risk) will be added to the Risk Register, and any item with a risk rating of 16 or greater will require a specific risk treatment plan to be developed.

Comment/Conclusion

The subject property, located at Lot 89 (No.115) Federal Street, Narrogin, lies within the Shire of Narrogin Townsite and spans a total area of 1,059 square metres.

The site is accessed from Federal Street and is situated on a corner lot, adjacent to the secondary street (Falcon Street). The secondary street is a one way street and cannot be accessed directly to Federal Street.

The subject sites contain a minor boundary misalignment and a boundary encroachment of the shop front awning onto the shire road reserve, given the boundary encroachment the existing building has a nil front setback.

The site is primarily occupied by an existing building, currently used as an art gallery/retail shop front, which occupies approximately 54.28% of the total site area (574.92 square metres).

The area includes various commercial establishments such as retail outlets, offices, and businesses. Federal Street, designated as a district distributor road under the care and control of the Shire of Narrogin, runs adjacent to the site. To the side, Falcon Street, a secondary road, provides access to the property but does not connect through to Federal Street.

The assessment of the application was conducted in accordance with the statutory requirements outlined in the Shire of Narrogin Local Planning Scheme No. 3 (LPS3) and the Deemed Provisions of the Planning and Development (Local Planning Schemes) Regulations 2015.

Under the LPS3, the subject property is zoned 'Service Commercial', the objectives of this zone are:

- *"To accommodate commercial activities which, because of the nature of the business, require good vehicular access and/or large sites.*
- *To provide for a range of wholesale sales, showrooms, trade and services which, by reason of their scale, character, operational or land requirements, are not generally appropriate in, or cannot conveniently or economically be accommodated in, the central area, shops and offices or industrial zones."*

The LPS3 defines a 'Motel' as:

“motel” – means premises, which may be licensed under the Liquor Control Act 1988 –

(a) used to accommodate guests in a manner similar to a hotel; and

(b) with specific provision for the accommodation of guests with motor vehicles.”

Land Use Classification:

The land use class Motel is designated as an 'A' use in Table 3 of LPS3 for land zoned 'Service Commercial'. As per the LPS3, an 'A' use indicates that development approval is required from the local government. This approval is granted after the application has been advertised in accordance with clause 64 of the Planning and Development Act 2015; Schedule 2; Deemed Provisions. Clause 64(1)(a) of the deemed provisions in the Planning and Development (Local Planning Schemes) Regulations 2015 states the following:

“An application that is not a complex application is advertised by doing any or all of the following, as determined by the local government —

(a) publishing in accordance with clause 87 —

(i) a notice of the proposed development in the form set out in clause 86(3); and

(ii) the application for development approval; and

(iii) any accompanying material in relation to the application that the local government considers should be published;

(b) giving notice of the proposed development to owners and occupiers of properties in the vicinity of the development who, in the opinion of the local government, are likely to be affected by the granting of development approval;

(c) erecting, in the manner and form approved by the Commission, a sign or signs in a conspicuous place on the land the subject of the application giving notice of the proposed development in the form set out in clause 86(3).”

Given that surrounding landowners will receive written notification, it is deemed unnecessary and impractical to install a sign on the site. The requirements specified in 4(a) and (b) are considered sufficient to facilitate public submissions on the proposal. It is recommended that notices be sent to owners and occupiers of properties within a 200-metre radius from the proposed development location, aligning with the provisions outlined in clause 7(a) regarding the specified notice period.

“(7) The period to be specified in a notice published or given, or on a sign erected, in accordance with subclause (4) in relation to an application that is not a complex application is —

(a) the period of 14 days after the day on which the notice of the application is first published or given, or the sign is first erected, as the case requires; or

(b) a longer period agreed in writing between the applicant and the local government.”

As part of the assessment process the application has been assessed against the development and setback provisions from the LPS3 that apply to the site.

Voting Requirements

Simple Majority

OFFICERS' RECOMMENDATION

That with respect to the Application for Planning Consent for the proposed Motel at Lot 89 (No.115) Federal Street, Narrogin, Council:

1. Notify the adjoining and adjacent property owners in writing of the proposed development for a period of 14 days in accordance with clause 64 of the deemed provisions of the Planning and Development (Local Planning Schemes) Regulations 2015, inviting submissions.
2. In the event of any negative submissions being received during the notification period, the application will be presented to the Council for further consideration.
3. In the event of no negative submissions being received during the notification period, the application be approved subject to the following conditions:
 - a. The approval shall expire if the development permitted is not completed within two years of approval, or within any extension of that time which, upon written application (made before or within 21 days after the expiry of the approval) to the Shire of Narrogin is granted by it in writing.
 - b. The development approved shall be in accordance with the plans and specifications submitted with the application and these shall not be altered or modified without the prior written approval of the Chief Executive Officer.
 - c. Any use, additions to and further intensification of any part of the development or land which is not in accordance with the original application or conditions of approval shall be subject to a further development application and consent for that use.
 - d. The building materials and colours used shall match existing buildings on the lot and are to be of non-reflective and muted tones i.e. not zincalume.
 - e. Landscaping within the front setback area shall be established within 60 days of the practicable completion of the building and shall be fully reticulated and maintained to the satisfaction of the Chief Executive Officer.
 - f. Bins and storage areas shall be screened from public view to the satisfaction of the Chief Executive Officer.
 - g. Crossovers are to comply with the Shire's specifications to the satisfaction of the Chief Executive Officer.
 - h. All parking associated with the activity approved shall be wholly contained on site to the satisfaction of the Chief Executive Officer.
 - i. No building, wall, fence or other form of visual obstruction greater than 0.75 metres in height, measured from the natural ground level at the boundary, shall be constructed or placed on a lot within a 6 metre by 6 metre truncation of a street corner or within a 2 metre by 2 metre truncation of a vehicular access way.

- j. All drainage run-off associated with the development shall be contained on site or connected to the Shire's stormwater drainage system to the satisfaction of the Chief Executive Officer.

Advice Notes:

1. If the applicant and/or owner are aggrieved by this decision as a result of the conditions of approval or by a determination of refusal, there may be right of review under the provisions of Part 14 of the *Planning and Development Act 2005*. A review must be lodged with the State Administrative Tribunal and must be lodged within 28 days of the decision.
2. In accordance with the *Building Act 2011* and *Building Regulations 2012*, a building permit application for the proposed development must be submitted to and approved by the local government's Building Surveyor prior to the commencement of any construction or earthworks on the land.
3. In accordance with the *Environmental Protection Act 1986* and *Environmental Protection (Noise) Regulations 1997*, no construction works shall commence prior to 7.00 am without the Shire's written approval, nor are construction works permitted on the land after 1.00 pm on Saturdays or anytime on Sundays or Public Holidays.

APPLICATION FOR PLANNING CONSENT



89 Earl Street
PO Box 1145
Narrogin WA 6312

(08) 9890 0900

www.narrogin.wa.gov.au
enquiries@narrogin.wa.gov.au

CASHIER HOURS:
8:30am – 4:30pm
MONDAY- FRIDAY

FORMER TOWN OF NARROGIN – TOWN PLANNING SCHEME NO.2
FORMER SHIRE OF NARROGIN – LOCAL PLANNING SCHEME NO.2

Name of Applicant	Nawgen building
ABN (If Applicable)	
Correspondence Address	[REDACTED]
Applicant Phone Number	[REDACTED]
Applicant Email	[REDACTED]

If Applicant and Owner are different:

Name of Owner	Chloe Blight
ABN (If Applicable)	56474082336
Correspondence Address	115B Federal Street, Narrogin, WA, 6312
Owner Phone Number	[REDACTED]
Owner Email	[REDACTED]

I hereby apply for planning consent to:

- Use the land described hereunder for the purpose of Motel
and/or
- Erect, alter or carry out development on land described hereunder in accordance with the accompanying plans.

Existing use of land	Retail - Cartaker cottage
Approximate cost of proposed development	\$ 630,000
Estimated time of completion	12 months
No of persons to be housed / employed after completion	Short Stay up to 6/Night

TITLES OFFICE DESCRIPTION OF LAND

LOCALITY PLAN

Lot No	89	House No	115	Street Name	Federal Street
Suburb	Narrogin	Nearest Street Intersection	Falcon Street		
Location No		Plan or Diagram	222890	Certificate of Title	
		Volume	1262	Folio	36
Title Encumbrances (e.g. Easements, Restrictive Covenants)					

LOT DIMENSIONS


Site area	1059	Square metres
Frontage	35	Metres
Depth	35	Metres

ADVERTISING

The information and plans provided with this application may need to be made available by the local government for public viewing in connection with the application. Do you consent to this?

YES ☒ NO ☐

AUTHORITY

Applicant's Signature  Date

NOTE: ALL OWNERS OF THE PROPERTY MUST SIGN THIS APPLICATION FORM.

WHERE PROPERTY IS OWNED BY A COMPANY, AT LEAST TWO DIRECTORS OF THE COMPANY MUST SIGN THE APPLICATION.

NOTE: WHERE THE APPLICANT IS NOT THE OWNER, THE OWNER'S SIGNATURE IS REQUIRED.

Owner's Signature  Date 19/05/2024

NOTE: THIS FORM IS TO BE SUBMITTED TOGETHER WITH COPIES OF PLANS, COMPRISING THE INFORMATION SPECIFIED IN THE PARTICULARS REQUIRED WITH THE APPLICATION OUTLINED BELOW. ADDITIONAL INFORMATION MAY BE REQUIRED AT A LATER STAGE.

NOTE: THE DEVELOPMENT APPLICATION MUST BE ACCOMPANIED WITH THE CORRECT PLANNING FEES (SEE CURRENT SCHEDULE OF FEES)

THIS IS NOT AN APPLICATION FOR A BUILDING LICENCE

PARTICULARS REQUIRED WITH APPLICATION FOR PLANNING CONSENT

Where an application involves the erection or alteration of a building or a change in levels of a site, the plans accompanying an application for planning consent shall, unless especially exempt by the Shire:

- Indicate the position and describe the existing buildings and improvements on the site and indicate those which are to be removed;
- Indicate the position (SITE PLAN, FLOOR PLAN AND ELEVATIONS) and describe the buildings and improvements proposed to be constructed, their appearance, height and proposed uses in relation to existing and proposed contours;
- Indicate the position, type and height of all the existing trees on the site and indicate those to be retained and those to be removed;
- Indicate the areas to be landscaped and the location and type of shrubs, trees and other treatment proposed;
- Indicate site contours and details of any proposed alteration to the natural contour of the area;
- Indicate car parking areas, their layout and dimensions and accessways and the position of existing and/or proposed crossovers; and
- Indicate site dimensions and be to metric scale.

OFFICE USE ONLY

File Reference		Application No	
Date Received		Date of Approval / Refusal	
Date of Notice of Decision		Officer's Signature	

Additional Information Page 115 Federal St Narrogin.

This application is for 3 proposed motel units.

The existing use of the current building is to remain unchanged and will be the subject of a future application.

Wall and Roof finishes

Existing Building: - predominantly painted brick/render and FC in both white tones and charcoal/black tones with galvanised roof.

Proposed Buildings: - Walls will be painted charcoal brushed concrete JH panels.
Roof will be Zinalume.

Federal St Parking Bays

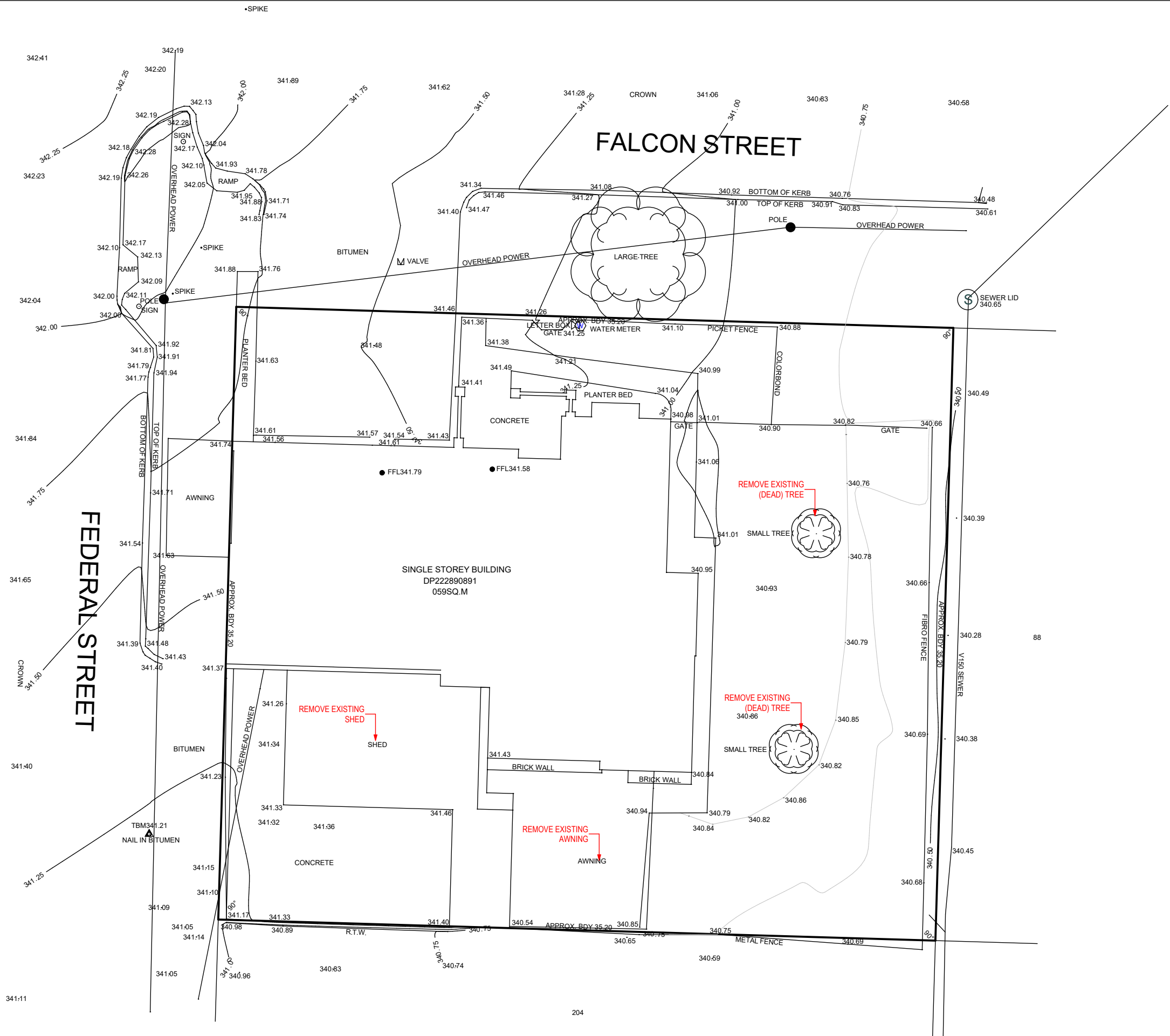
There is an existing wide crossover on Federal that is proposed for disabled parking and additional parking bays it is assumed that the area was previously a mechanical repair or the like with considerable traffic movement. It is anticipated that the traffic movement to be low for the motel units and reversing on to Federal St with good site lines of low risk.

It is acknowledged that the area could be redesigned for single entry and parking parallel to Federal St however this would result in a significant increase in the paved area and decrease in landscaping. The look of a “carpark” off Federal St is considered undesirable.

The existing building restricts the use of access and sufficient parking off Federal St

Material Loading

The motel units are modular in nature and will be erected and installed via Falcon St. future loading and unloading is provided via a loading bay off Federal St



1 EXISTING SITE PLAN
1:200

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DRAWING : EXISTING SITE PLAN

CLIENT : CHLOE BLIGHT

PROJECT : 115 FEDERAL STREET, NARROGIN

DRAWN BY:

BK

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DATE :

5/24/2024

APPLICATION :

PRELIMINARY

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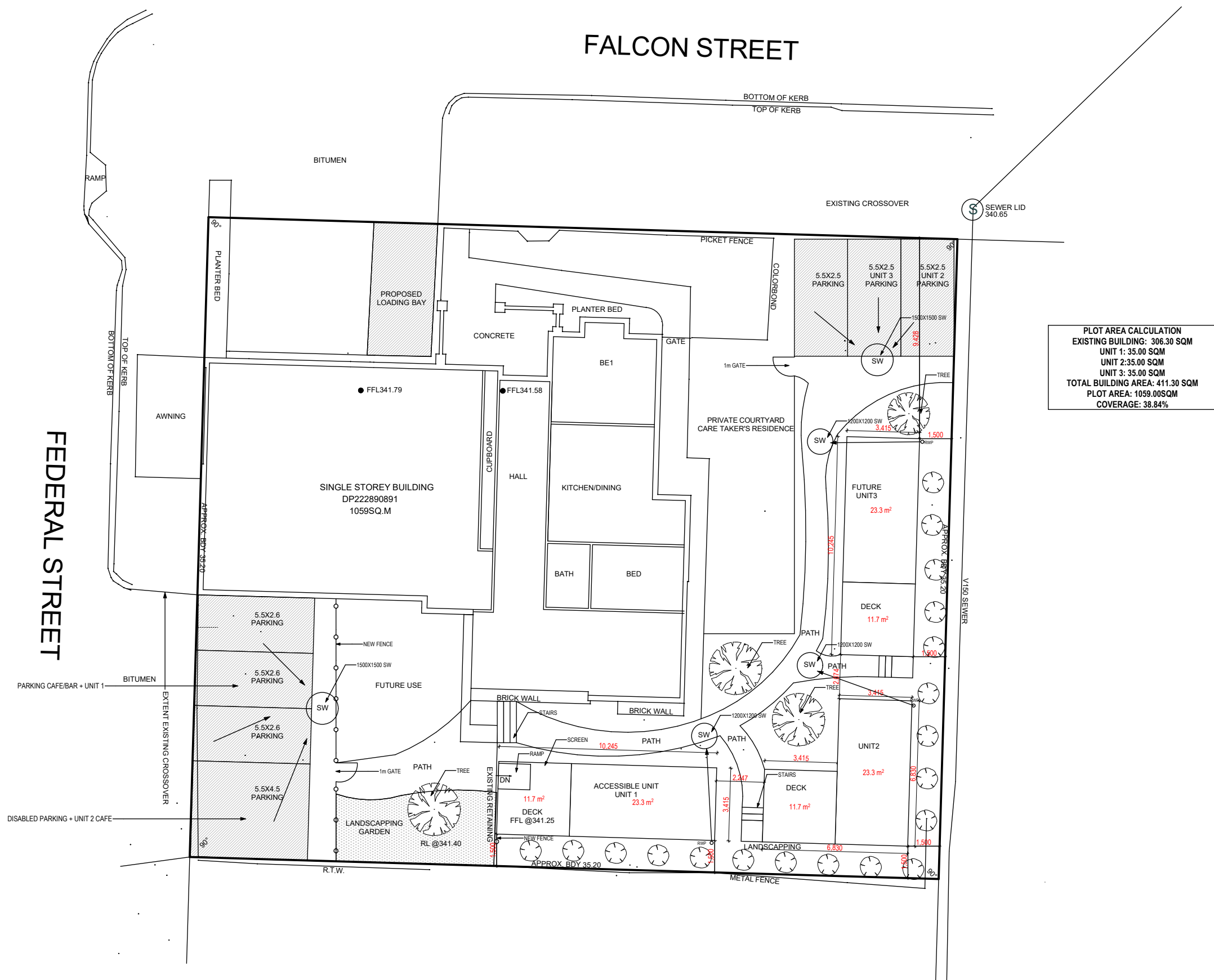
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1 PROPOSED SITE PLAN
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DRAWING : PROPOSED SITE PLAN

CLIENT : CHLOE BLIGHT

PROJECT : 115 FEDERAL STREET, NARROGIN

DRAWN BY:

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5/24/2024

APPLICATION :

PRELIMINARY

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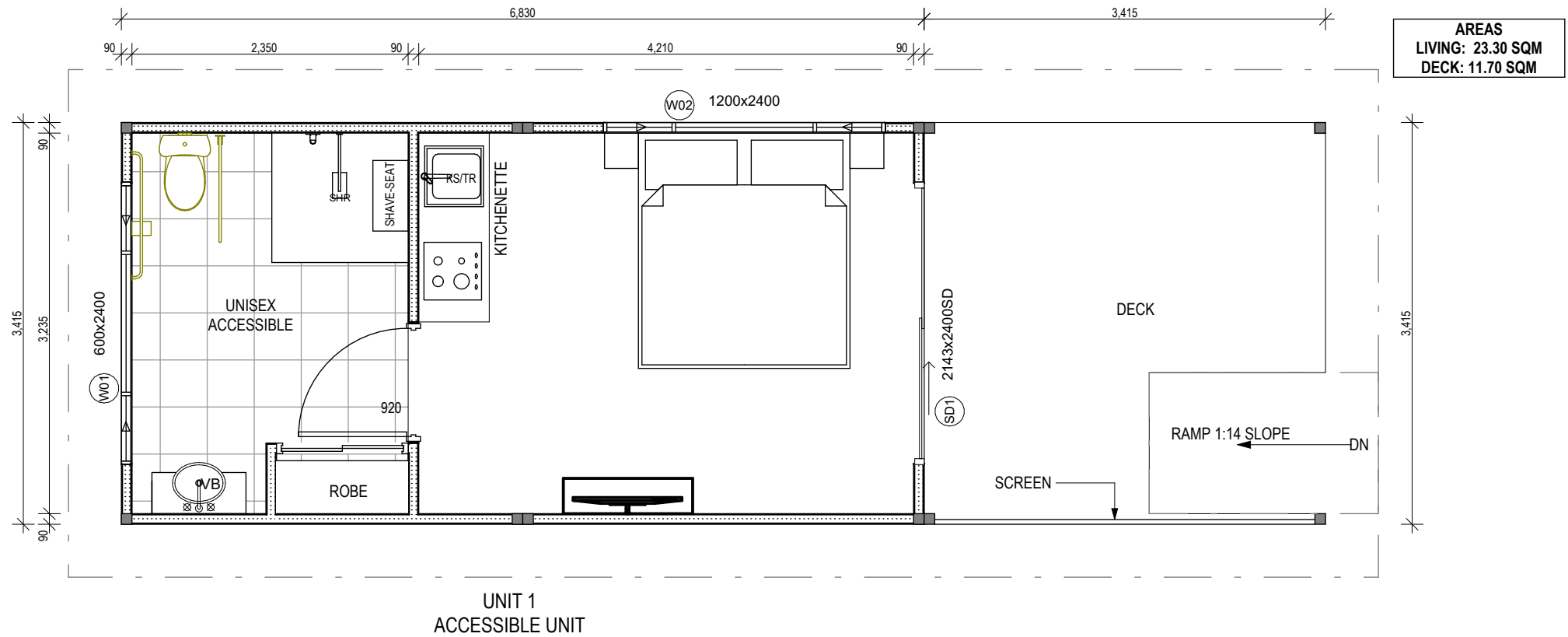
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0. UNIT 1 FLOOR PLAN
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DRAWING : UNIT 1 FLOOR PLAN

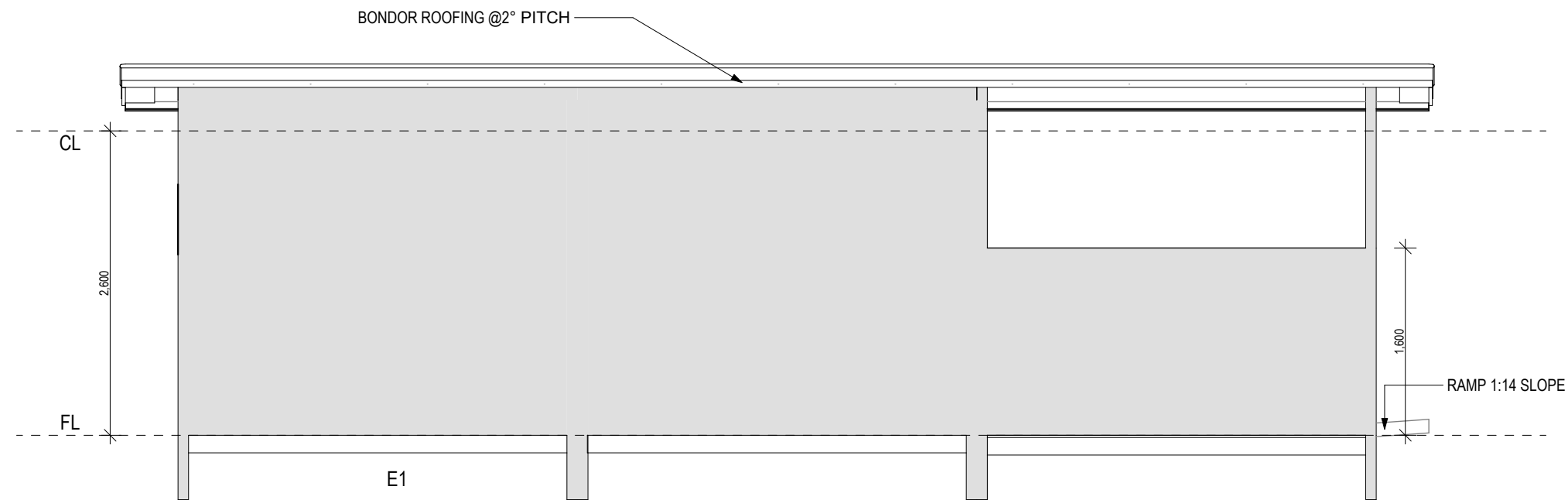
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PROJECT : 115 FEDERAL STREET, NARROGIN

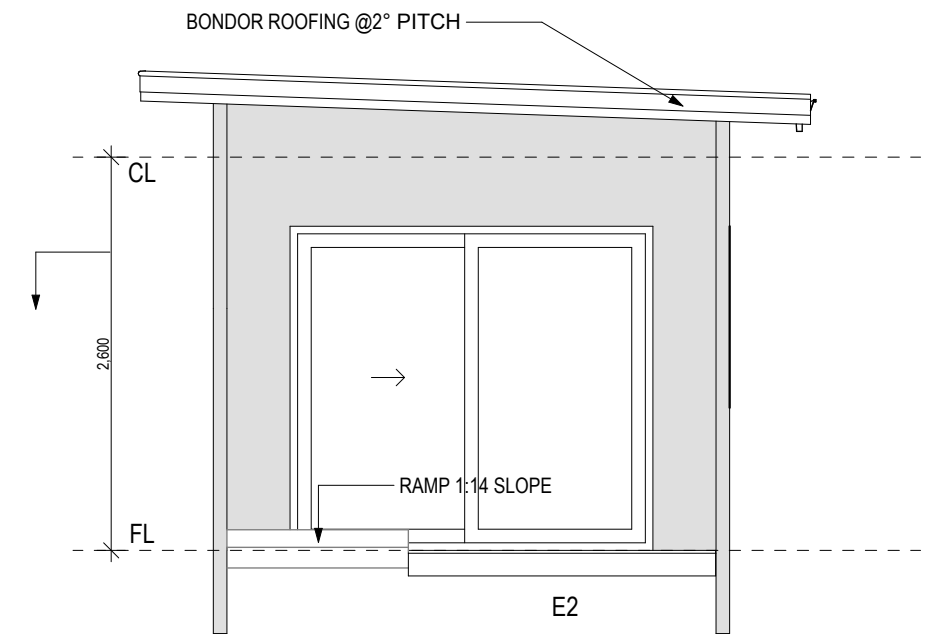
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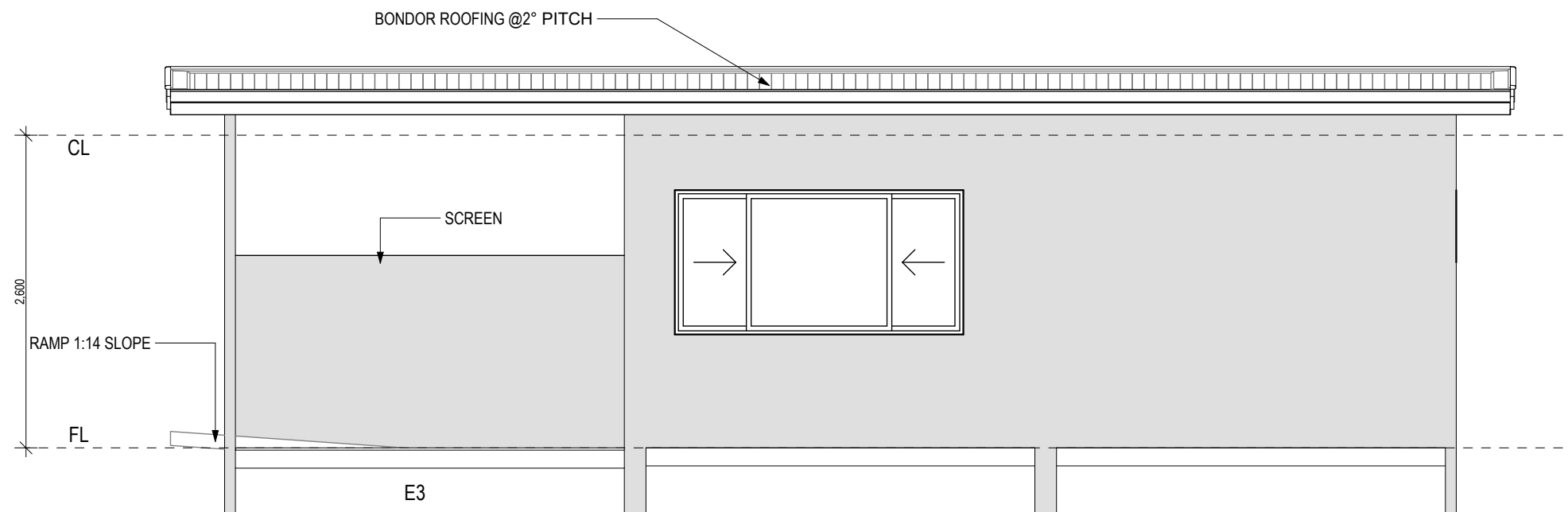
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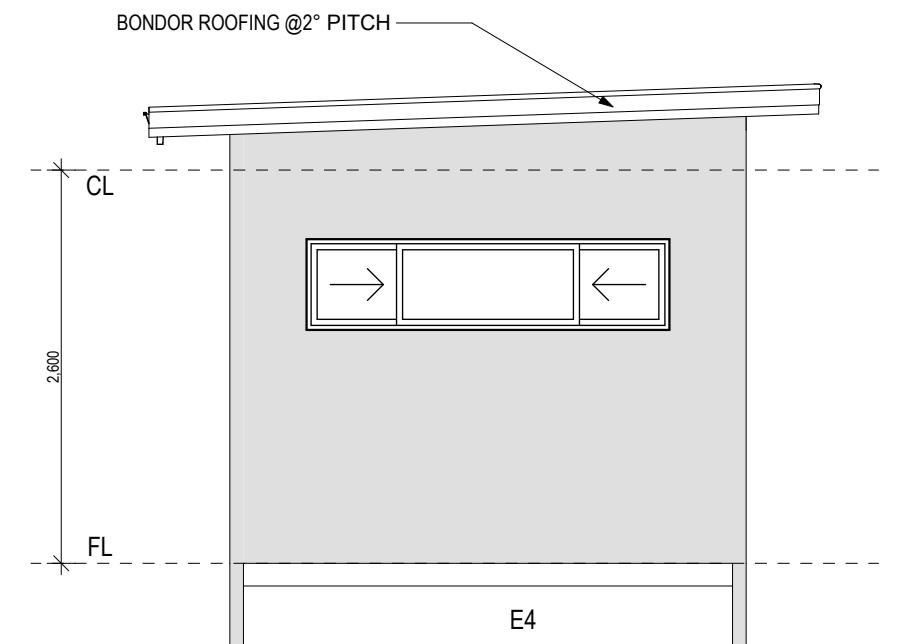
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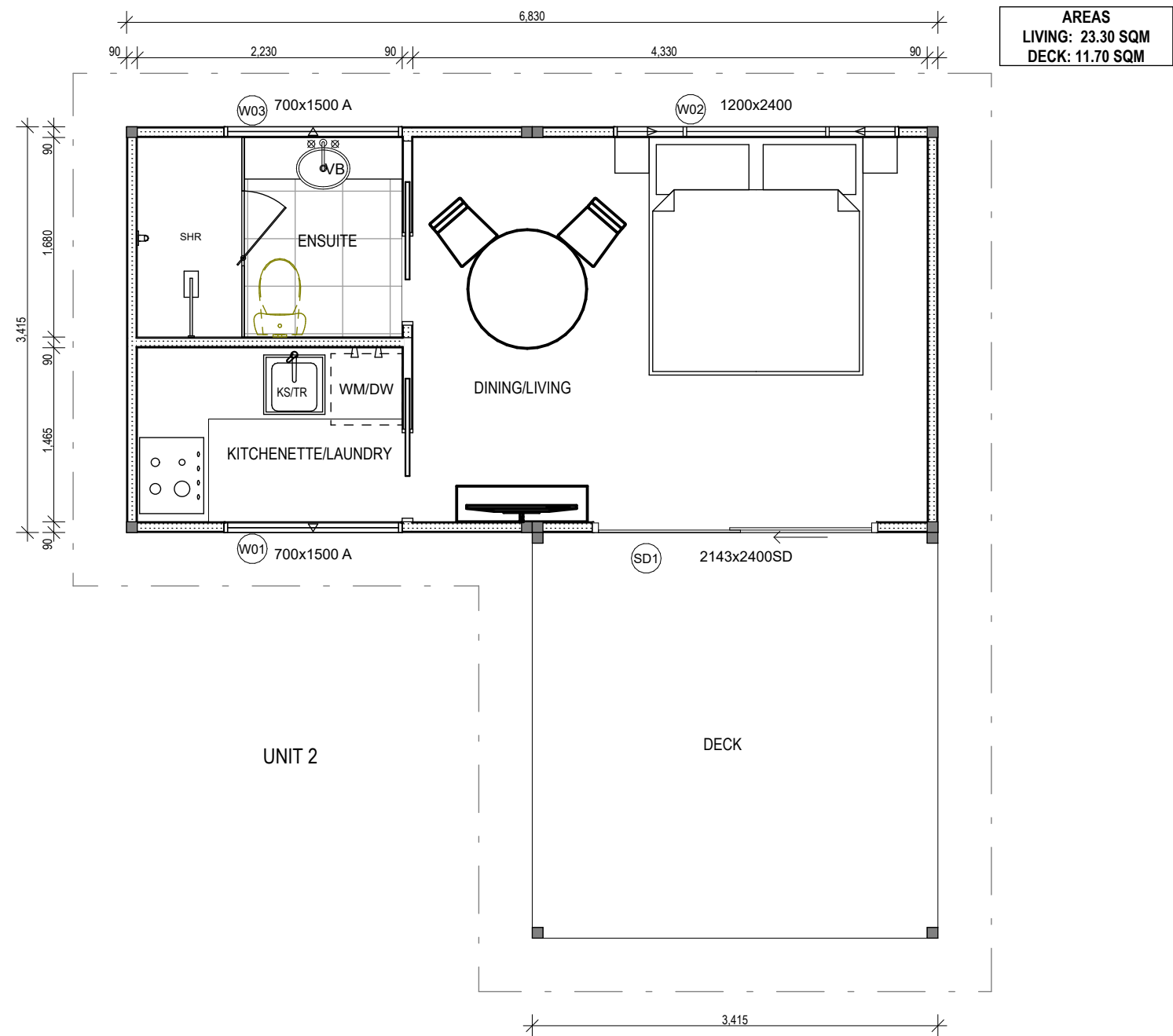
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1 UNIT 2 FLOOR PLAN
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CLIENT : CHLOE BLIGHT

PROJECT : 115 FEDERAL STREET, NARROGIN

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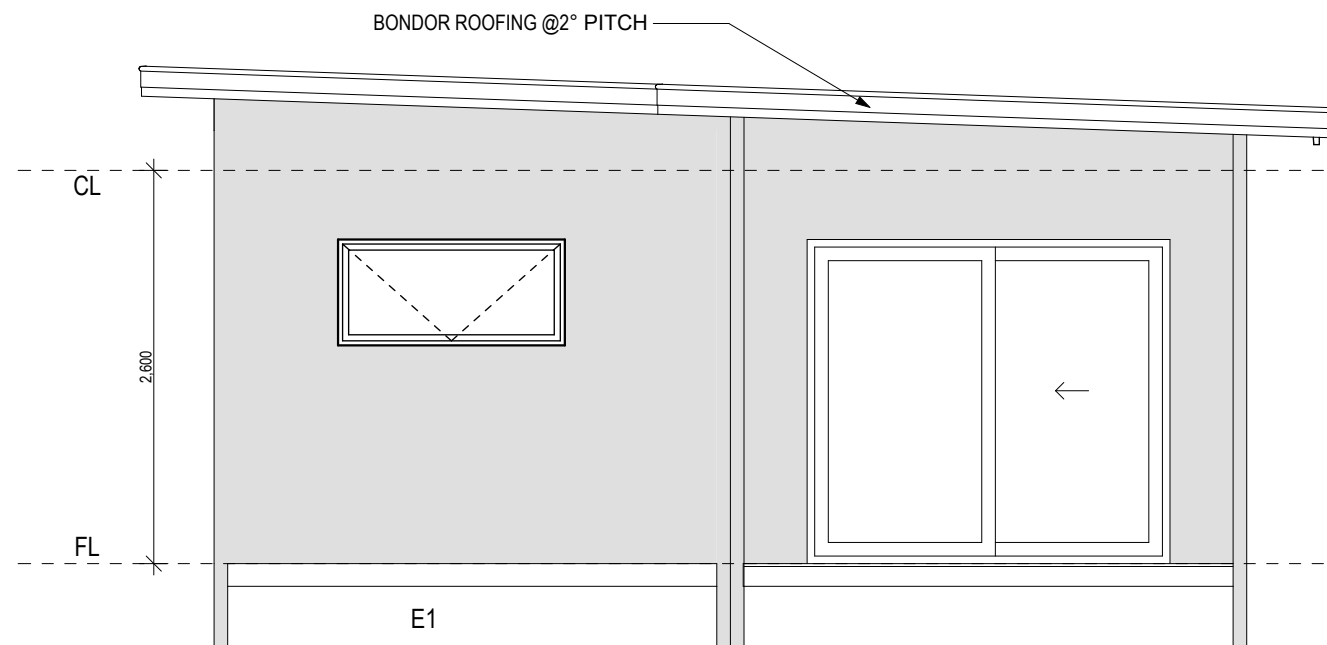
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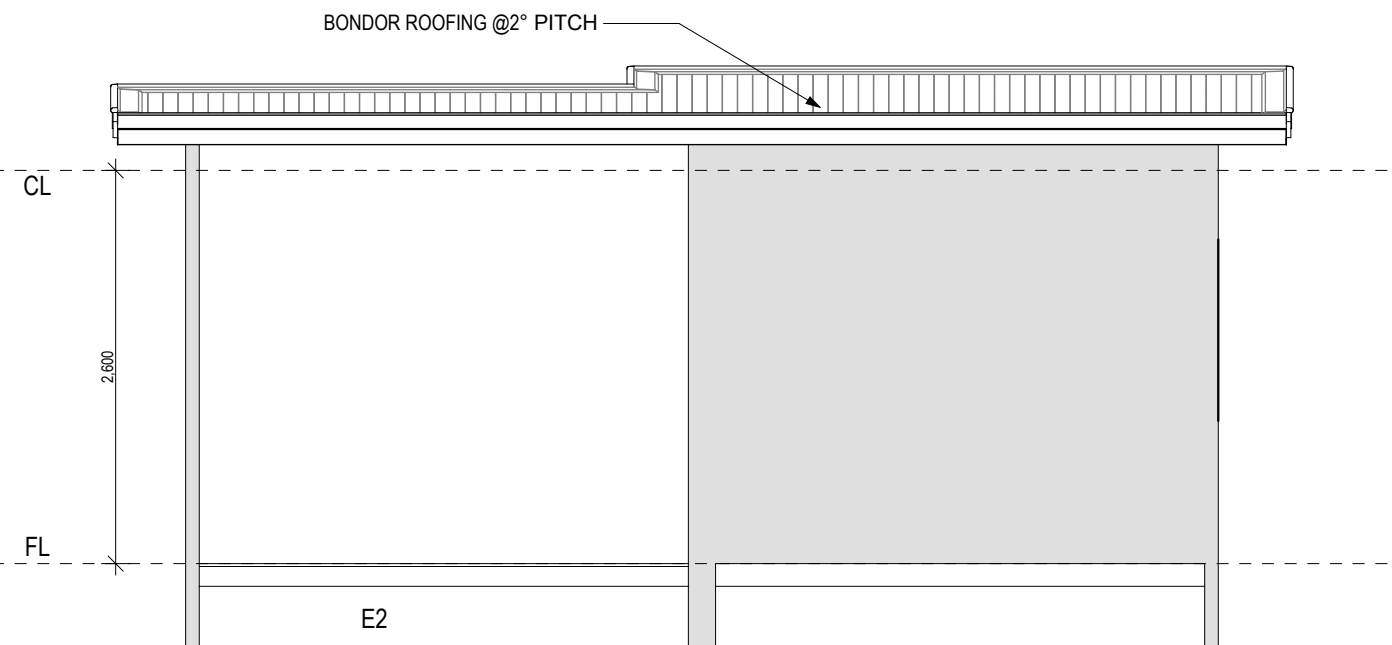
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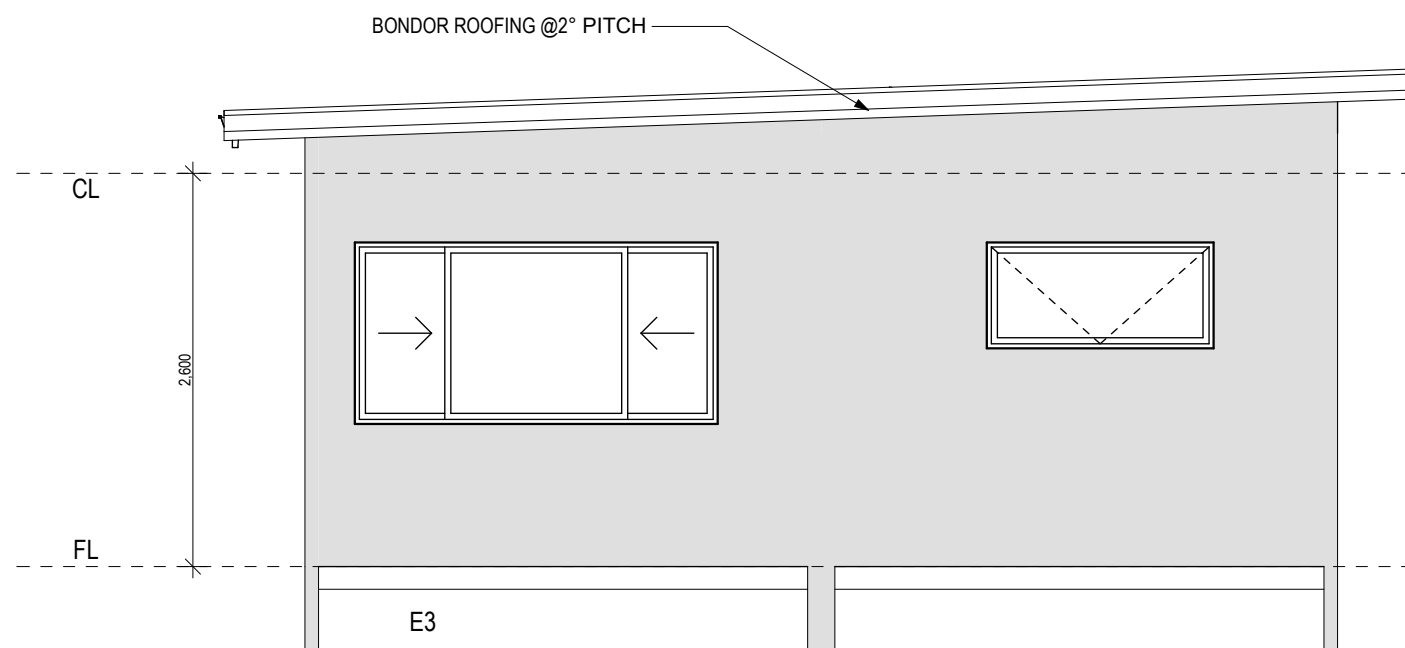
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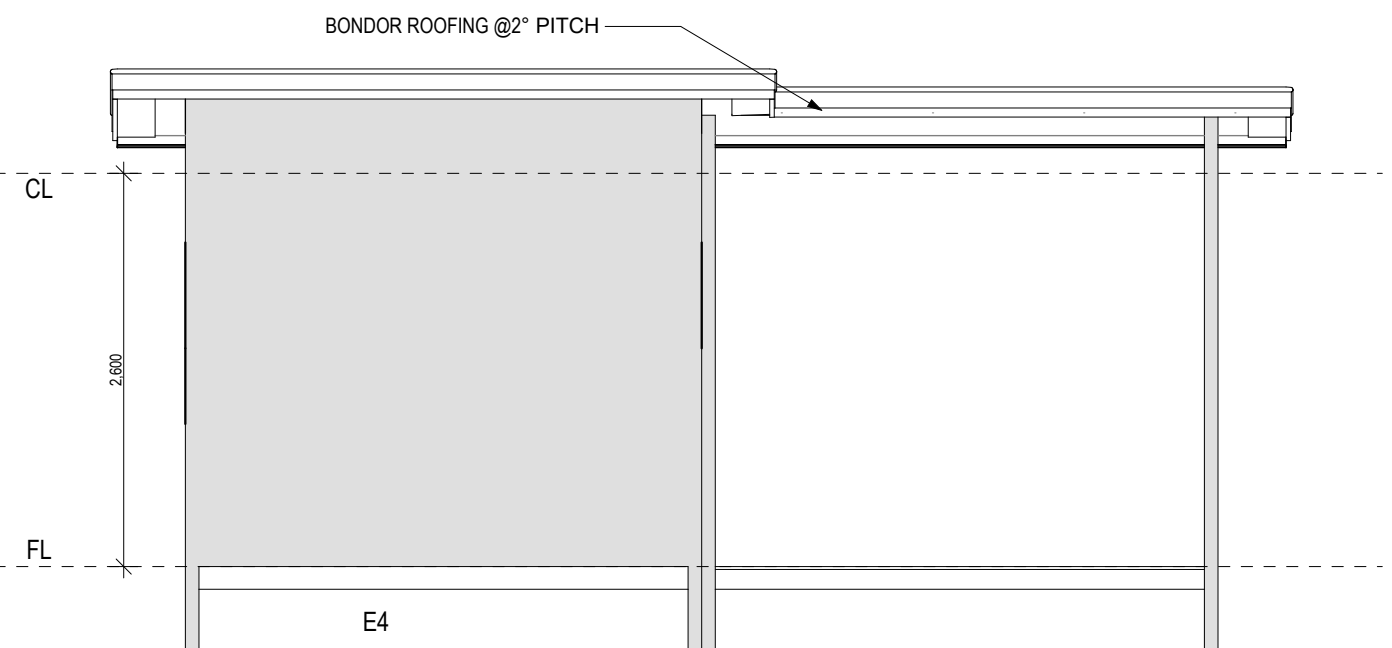
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DRAWING : **UNIT 2 ELEVATIONS**

CLIENT : **CHLOE BLIGHT**

PROJECT : **115 FEDERAL STREET, NARROGIN**

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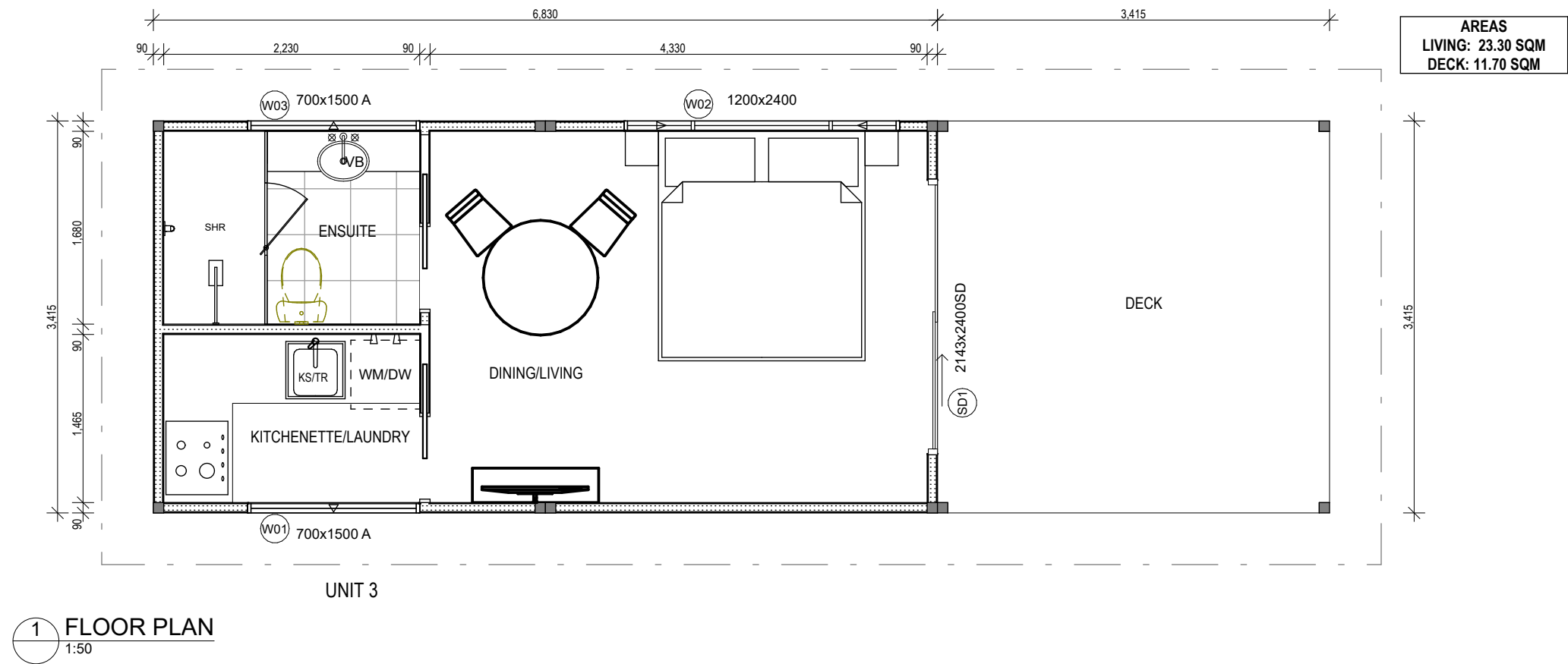
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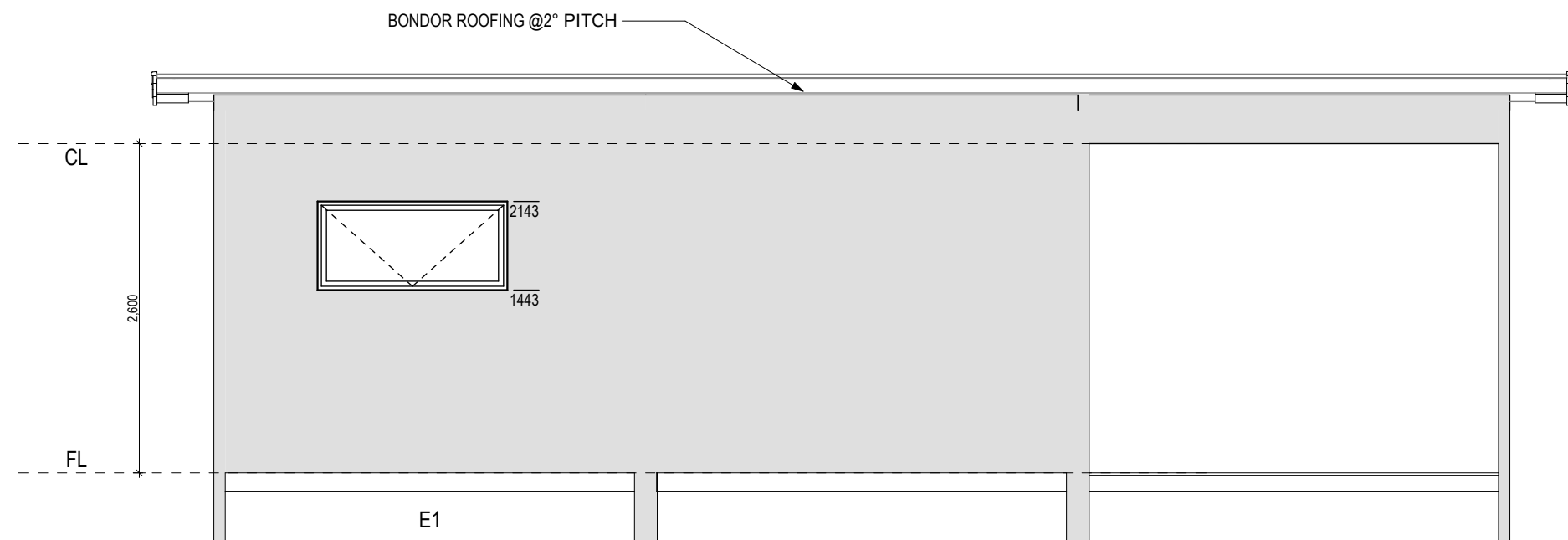
CLIENT : **CHLOE BLIGHT**

PROJECT : **115 FEDERAL STREET, NARROGIN**

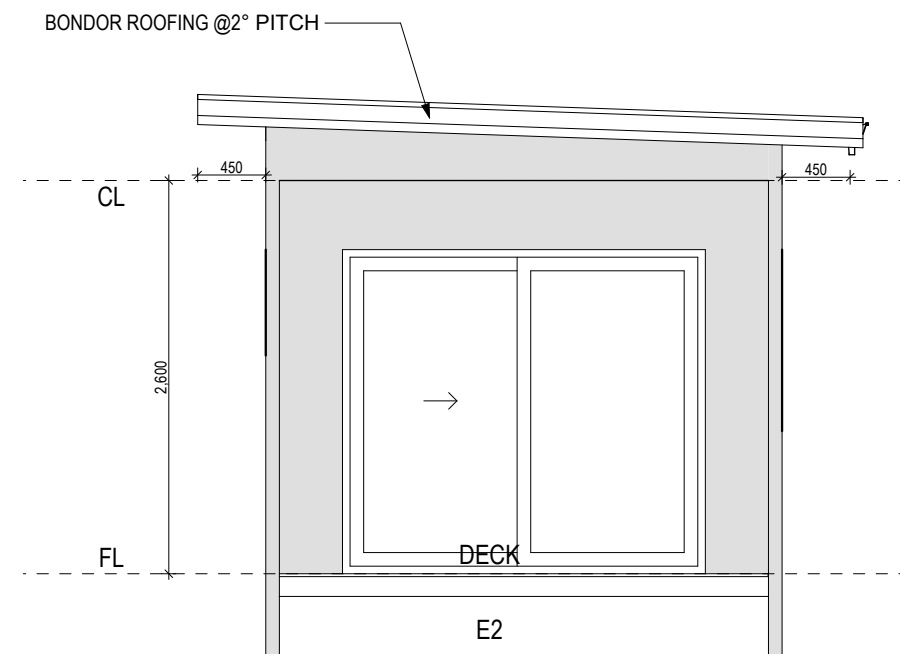
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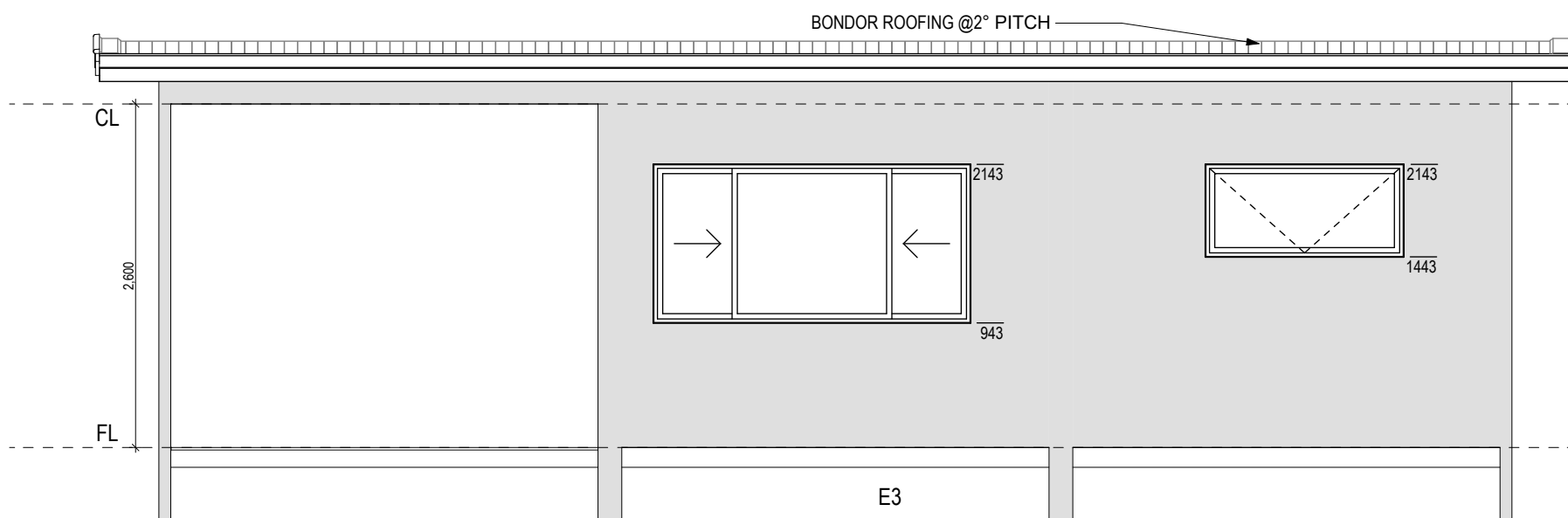
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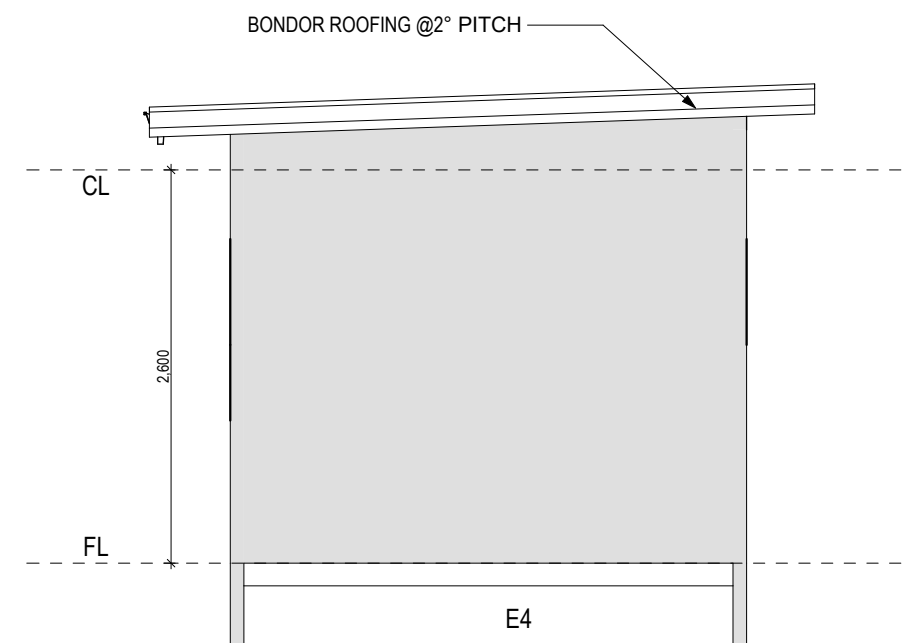
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10.1.4 PROPOSED TRANSPORT DEPOT AT LOT 23 ON P064336 COMINI ROAD, DUMBERNING

File Reference	A488
Disclosure of Interest	Neither the Author nor Authorising Officer have any Impartiality, Financial or Proximity Interests that requires disclosure.
Applicant	Jenna Freeland & Cory McKenzie
Previous Item Numbers	18 June 2024
Date	Date paper, complete with attachments submitted.
Author	Kiralee Harris – Planning Assistant
Authorising Officer	Azhar Awang – Executive Manager of Development & Regulatory Services.
Attachments 1. Development Application	

Summary

Council's consideration is requested in regard to the proposed development application submitted by Jenna Freeland and Cory McKenzie to construct an outbuilding to be used as a transport depot and to utilise the property for the purpose, on Lot 23 (Diagram P064336) Comini Road, Dumberning.

Background

Jenna Freeland & Cory McKenzie (applicant & landowners) have submitted a development application and are seeking Council's approval to install a shed and to use the land for a transport depot, on Lot 23 on P064336 Comini Road, Dumberning. Access to the site will enter via Comini Road.

The applicant has indicated that the proposed works involve erecting a 20 metre by 18 metre shed intended for storing a caravan, boat, motorbikes, and two prime movers. Additionally, the proposed land use includes parking one to two commercial vehicles overnight in the immediate future, with plans to build a house on the site in several years.

The detailed proposal includes constructing a shed with a total floor area of 360 square metres. The shed will have a wall height of 5.6 metres and a ridge height of 7.187 metres. Storm water from the shed will be connected to a water tank, although the plans do not specify the tank's location or size. The shed will feature access doors on each side, with two roller door openings on the southern side and three on the opposite side.

Consultation

Consultation is recommended to be made after Council's consideration of the application. It is recommended that surrounding landowners within 300 metres of the vicinity of the boundary be notified in writing of the proposed development allowing 14 days to provide a comment on the proposed development.

- Executive Manager Development and Regulatory Services; and
- Technical and Rural Services Team.

Statutory Environment

The following Acts, Regulations and Schemes that apply to this item include:

- Shire of Narrogin – Local Planning Scheme No.3;
- Planning and Development (Local Planning Schemes) Regulations 2015 Deemed provisions for local planning schemes, Schedule 2; and
- Planning and Development Act 2005.

Policy Implications

The Council's Policy Manual contains no policies that relate and nor are there any proposed.

Financial Implications

There are no immediate financial implications for the Shire aside from the administrative costs associated with processing the application which are provided for in Council's annual budget and have been partially offset by the development application fee paid by the applicant.

All costs associated with the proposed development will need to be met by the applicant. The planning application fee is determined by the estimated cost of the development (Shire of Narrogin schedule of fees for the 2023-2024 financial year). As the total cost of development is \$80,000.00 the cost of the planning fee is \$256.00.

Strategic Implications

Shire of Narrogin Strategic Community Plan 2017-2027		
Objective:	1.	Economic Objective (Support growth and progress, locally and regionally)
Outcome:	1.1	Growth in revenue opportunities
Strategy:	1.1.1	Attract new industry, business, investment and encourage diversity whilst encouraging growth of local business
Outcome:	3.4	A well maintained built environment
Strategy:	3.4.1	Improve and maintain built environment

Risk Implications

Risk	Risk Likelihood	Risk Impact / Consequence	Risk Rating	Principal Risk Theme	Risk Action Plan (Controls or Treatment proposed)
Implications on the long term and frequent use of commercial vehicles, heavy freight, on the unconstructed gravel Road (Comini & Mokine Road).	Almost Certain (5)	Moderate (3)	High (10-16)	Compliance Requirements	Control through conditions of approval.

Risk Matrix

Consequence Likelihood		Insignificant	Minor	Moderate	Major	Catastrophic
		1	2	3	4	5
Almost Certain	5	Medium (5)	High (10)	High (15)	Extreme (20)	Extreme (25)
Likely	4	Low (4)	Medium (8)	High (12)	High (16)	Extreme (20)
Possible	3	Low (3)	Medium (6)	Medium (9)	High (12)	High (15)
Unlikely	2	Low (2)	Low (4)	Medium (6)	Medium (8)	High (10)
Rare	1	Low (1)	Low (2)	Low (3)	Low (4)	Medium (5)

A risk is often specified in terms of an event or circumstance and the consequences that may flow from it. An effect may be positive, negative or a deviation from the expected and may be related to the following objectives; occupational health and safety, financial, service interruption, compliance, reputation and environment. A risk matrix has been prepared and a risk rating of 15 has been determined for this item. Any items with a risk rating over 10 or greater (considered to be high or extreme risk) will be added to the Risk Register, and any item with a risk rating of 16 or greater will require a specific risk treatment plan to be developed.

Comment/Conclusion

The subject area, located within the Shire of Narrogin, in the locality Dumberning, the subject site does not have an allocated rural road property number, this will be referred to the Shire's Corporate Services Team for allocation.

The lot has a total site area of 13.9956 hectares (ha) and does not contain any existing habitable dwellings on the site including those associated with farming practises such as various outbuildings.

On the rear corner of the lot (southeast), there is an easement which intersects the property for the purpose of western power.

The site has been extensively cleared throughout, apart from existing remnant vegetation that is recorded as being pre-existing or native vegetation extent. The applicant has not stated that clearing or removal of vegetation is proposed.

Lot 23 is not designated as flood-prone or subject to inundation during extreme storm events. Additionally, it does not contain any known buildings or places of European or Aboriginal cultural heritage significance, however the site is located and has been identified as Bush Fire Prone Area.



Lot 23 Comini Road is surrounded by large rural lots similar in size to the subject site, with direct frontage to Comini Road, which is under the control and care of the Shire of Narrogin.

The nearest neighbouring dwelling to the site is approximately 180 metres from the subject site's boundary, located towards the north on an adjoining property. The next nearest dwelling is approximately 600 metres away from its boundary.

It is important to note that the subject site has been identified by the Department of Planning, Lands and Heritage (DPLH) as being within 200 metres of a Development Assessment Panel (DAP) Application. This referred to as DAP/22/02386 for the proposed Renewable Diesel Refinery at Lot 31 Great Southern Highway, Dumberning. As shown in the image below, the subject site adjoins Lot 31 Great Southern Highway.

The assessment of the application was conducted in accordance with the statutory requirements outlined in the Shire of Narrogin Local Planning Scheme No. 3 (LPS3) and the Deemed Provisions of the Planning and Development (Local Planning Schemes) Regulations 2015.

The Shire of Narrogin Local Planning Scheme 3 (LPS3) defines *Transport Depot* as follows;

“means premises used primarily for the parking or garaging of 3 or more commercial vehicles including

—

(a) any ancillary maintenance or refuelling of those vehicles; and

(b) any ancillary storage of goods brought to the premises by those vehicles; and

(c) the transfer of goods or persons from one vehicle to another;”

As the site is zoned ‘Rural’, the use class *Transport Depot* is listed in Table 5 of LPS3 as a ‘D’ use on land classified ‘Rural’ zone, which means it is not permitted unless the Council has exercised its discretion and granted development approval.

The proposed development was assessed against the Council's stated objectives for land classified as Rural, as outlined below:

Rural Zone Objectives:

- *“To provide for the maintenance or enhancement of specific local rural character.*
- *To protect broad acre agricultural activities such as cropping and grazing and intensive uses such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use.*
- *To maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and watercourse systems from damage.*
- *To provide for the operation and development of existing, future and potential rural land uses by limiting the introduction of sensitive land uses in the Rural zone.*
- *To provide for a range of non-rural land uses where they have demonstrated benefit and are compatible with surrounding rural uses.”*

It is considered that the proposed Transport Depot is consistent with the above objectives.

Voting Requirements

Simple Majority

OFFICERS' RECOMMENDATION

That with respect to the Application for Planning Consent for the proposed Transport Depot at Lot 23 on Diagram P064336 Comini Road, Dumberning, Council:

1. Notify the adjoining and adjacent property owners in writing of the proposed development for a period of 14 days in accordance with clause 64 of the deemed provisions of the Planning and Development (Local Planning Schemes) Regulations 2015, inviting submissions.
2. Require that in the event of any negative submissions being received during the notification period, the application will be presented to the Council for further consideration.
3. Note that In the event of no negative submissions being received during the notification period, the application is approved subject to the following conditions:
 - a. The approval shall expire if the development permitted is not completed within two years of approval, or within any extension of that time which, upon written application (made before or within 21 days after the expiry of the approval) to the Shire is granted by it in writing.

- b. The development approved shall be in accordance with the plans and specifications submitted with the application and these shall not be altered or modified without the prior written approval of the Chief Executive Officer.
- c. Any use, additions to and further intensification of any part of the development or land which is not in accordance with the original application or conditions of approval shall be subject to a further development application and consent for that use.
- d. The use permitted shall not cause injury to or prejudicially affect the amenity of the locality by reason or appearance or the emission of noise, vibration, odour, vapour, dust, wastewater, waste products or otherwise.
- e. In accordance with clause 4.34.1 of the Local Planning Scheme No. 3, given the dedicated road access is available, but unconstructed to a sufficient standard for the intended purpose, the applicant is required to contribute the cost of constructing the road or part thereof to the access to the property to the satisfaction of the Chief Executive Officer.

Advice Notes:

- 1. This is not a building permit or an approval to commence or carry out development under any other law. It is the responsibility of the applicant and landowner to obtain any other necessary approvals, consents, permits and licenses required under any other law, and to commence and carry out development in accordance with all relevant laws.
- 2. If the applicant is aggrieved by this decision as a result of the conditions of approval or by a determination of refusal, there may be a right of review under the provisions of Part 14 of the Planning and Development Act 2005. A review must be lodged with the State Administrative Tribunal and must be lodged within 28 days of the decision.
- 3. The applicant/landowner are reminded of their obligations to ensure compliance with the requirements of the Shire of Narrogin Annual Fire Management Notice as it applies specifically to all rural land in the Shire to help guard against any potential bushfire risk.
- 4. The subject road is not constructed and has not been considered to be constructed in the near future by the Shire. The Shire will not be liable for any maintenance to the existing unconstructed road and that the Shire will not be liable for any claims or damages to the user of the unconstructed road.

APPLICATION FOR DEVELOPMENT APPROVAL



Shire of
Narrogin
Live the life

(FDRS005)

89 Earl Street
PO Box 1145
Narrogin WA 6312

(08) 9890 0900

www.narrogin.wa.gov.au
enquiries@narrogin.wa.gov.au

CASHIER HOURS:
8:30am - 4:30pm
MONDAY - FRIDAY

SHIRE OF NARROGIN – LOCAL PLANNING SCHEME NO.3 (LPS 3)

All applicants should complete this form and the checklist provided. Applicants seeking approval for Advertising Signage should also complete page 3, unless exempt under Schedule 5 of the LPS 3.

PROPERTY DETAILS

Lot No	23	House No		Street Name	Comini Road
Suburb	Dumberning	Nearest Street Intersection	Mokine Road		
Location No		Plan or Diagram		Certificate of Title	
				Volume:	2735
				Folio:	806
Title Encumbrances (e.g. Easements, Restrictive Covenants)					

LOT DIMENSIONS

Site area	141,375	Square metres
Frontage	325	Metres
Depth	435	Metres

OWNER DETAILS

Full Name:	Jenna Maree Freeland & Cory James McKenzie	
ABN (If Applicable)		
Postal Address		
Telephone Number:		Email:
Owner's Signature	Date 29/05/24	

NOTE: All owners of the property must sign this application form.

Where property is owned by a company, at least two directors of the company must sign the application.

APPLICANT DETAILS (If different)

Full Name:		
ABN (If Applicable)		
Postal Address		
Telephone Number:		Email:
Applicant's Signature	Date	

ADVERTISING

The information and plans provided with this application may need to be made available by the local government for public viewing in connection with the application. Do you consent to this?*

Yes ☒ No ☐

* Public notification is required for certain development applications to ensure that the public is made aware of the development and have opportunity for relevant submissions. Council has right of refusal for applications that do not allow for public viewing should it be deemed necessary.

PROPOSED DEVELOPMENT

Nature of Development	<input type="checkbox"/> Works (New construction works with no change of land use) <input type="checkbox"/> Use (Change of use of land with no construction works) <input checked="" type="checkbox"/> Works and Use
NOTE: If the proposal involves advertising signage the Additional Information for Development Approval for Advertisements form must be completed and submitted with this application.	
Is an exemption from development claimed for part of the development? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, is the exemption for:	<input type="checkbox"/> Works <input type="checkbox"/> Use
Description of proposed works and/or land use:	Proposed works is the erection of a 20 x 18m shed for the purpose of storage of caravan, boat, motorbikes, 2 x prime movers. Proposed land use is the parking of 1-2 commercial vehicles overnight in the immediate future and the building of a house in several years time.
Description of exemption claimed (if relevant)	
Nature of any existing buildings and/or land use:	Existing buildings include 5 x 5m shed.
Approximate cost of proposed development:	\$80,000
Estimated time of completion:	August 2024

NOTE: This form is to be submitted together with copies of plans, comprising the information specified in the particulars required with the application outlined below. Additional information may be required at a later stage.

NOTE: The Development Application **must** be accompanied with the correct planning fees (see [current Schedule of Fees and Charges](#))

This is not an application for a building permit. A separate application is required for a building permit.

OFFICE USE ONLY

File Reference		Application No	
Date Received		Date of Approval / Refusal	
Date of Notice of Decision		Officer's Signature	

ADDITIONAL INFORMATION REQUIRED FOR ADVERTISEMENTS

Not required if exempt under Schedule 5 of the LPS 3

Include a design/photos of the signage you wish to display including the size measurements and colour of the sign, if the proposed signage is to be put on poles, please include the size/heights of the pole(s) If more than one design/size etc please clearly list each sign with its size measurements/colours etc.

Description of property on which advertisement is to be displayed including full details of its proposed position within that property:					
Details of proposed sign:					
Type of structure on which advertisement is to be erected (i.e. freestanding, wall mounted, other):					
Height		Width		Depth	
Colours to be used:					
Height above ground level-					
to top of advertisement:			to underside:		
Materials to be used					
Illuminated	No <input type="checkbox"/> Yes <input type="checkbox"/>				
If yes, state whether steady, moving, flashing, alternating, digital, animated or scintillating and state intensity of light source:					
Period of time for which advertisement is required:					
Details of signs (if any) to be removed if this application is approved:					
NOTE: This application should be supported by a photograph or photographs of the premises showing superimposed thereon the proposed position for the advertisement and those advertisements to be removed as detailed in above.					
Signature of Advertiser (If different from Owner)					
Date					

CHECKLIST FOR DEVELOPMENT APPROVAL

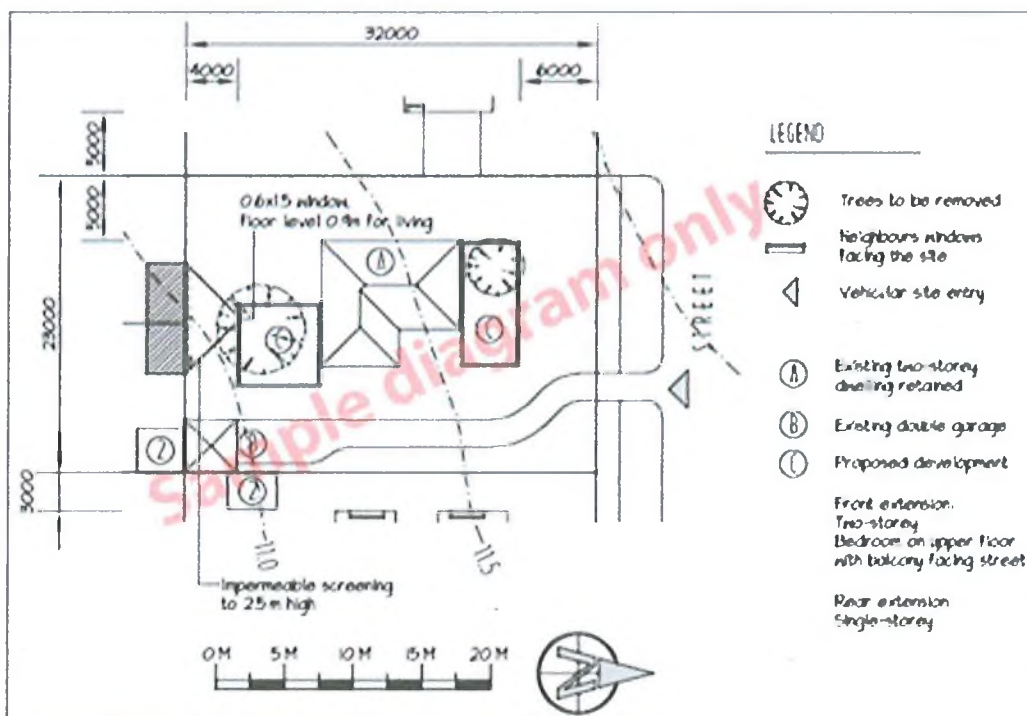
PROPERTY DETAILS

Lot No	23	House No		Street Name	Comini Road, Dumbering
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ITEM	INFORMATION REQUIREMENTS	APPLICANT USE ONLY <small>(tick each accordingly)</small>	SHIRE USE ONLY <small>(tick each accordingly)</small>
1	Completed Application for Development Approval Form signed by the applicant as well as all landowners. (NOTE: the signature/s of all landowners listed on the Certificate of Title for the subject land is compulsory).		
2	Plans to a scale of not less than 1:500		
3	Plans have a north point and show street names, lot number(s), dimensions of the lot and location of easements if applicable.		
4	Plans showing all existing natural ground levels and proposed new ground levels over the whole site including existing and proposed finished floor levels for all buildings, structures, parking areas, driveway/s and crossover/s.		
5	Plans showing the location, height, type, materials and finish of all existing structures on the land including boundary fences and retaining walls.		
6	Plans showing all buildings, structures and other improvements including vegetation proposed to be removed.		
7	Plans showing all buildings, structures and other improvements proposed to be constructed, modified or upgraded including their areas, dimensions, external surface materials/finishes and colours (including suitably scaled elevation drawings).		
8	Plans showing all existing and proposed means of access for pedestrians and vehicles to and from the site including pathways, crossovers and driveways and their surface treatments.		
9	Plans showing the location, number, dimensions and layout of all existing and/or proposed on-site car parking bays.		
10	Plans showing the location and dimensions of any area/s proposed to be provided for the loading and unloading of vehicles carrying goods or commodities to and from the site and the means of access to and from those areas.		
11	Plans showing the location, dimensions and surface treatments for any existing or proposed open storage or trade display area/s.		
12	Plans showing the location of all existing infrastructure and street trees in the road verge area immediately abutting the site.		
13	Plans showing all new landscaping proposed to be installed (including details of plant species) and any existing landscaping proposed to be retained (i.e. grouped dwellings, commercial & industrial developments only).		

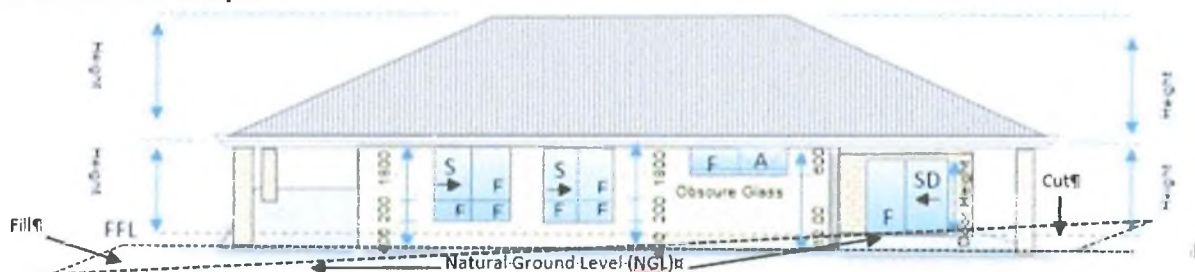
14	A pre-calculation plan is provided for all grouped dwelling development proposals (i.e. a suitably scaled plan shows areas & dimensions for all proposed new strata lots).		
15	Plan/s showing the location and extent of any proposed overshadowing on adjoining properties (residential development proposals only).		
16	For all proposed new advertising signs, a completed and signed Additional Information for Development Approval for Advertisements form as well as plans showing the location, dimensions, external surface materials/finishes and colours for all existing and proposed new advertising signage.		
17	A completed Bushfire Attack Level (BAL) assessment prepared by an accredited Level 1 BAL Assessor or Bushfire Planning Practitioner is required for all residential properties greater than 1100m ² in areas designated bushfire prone on the Map of Bush Fire Prone Areas , unless otherwise exempted in the Guidelines for Planning in Bushfire Prone Areas (WAPC 2015, as amended).		

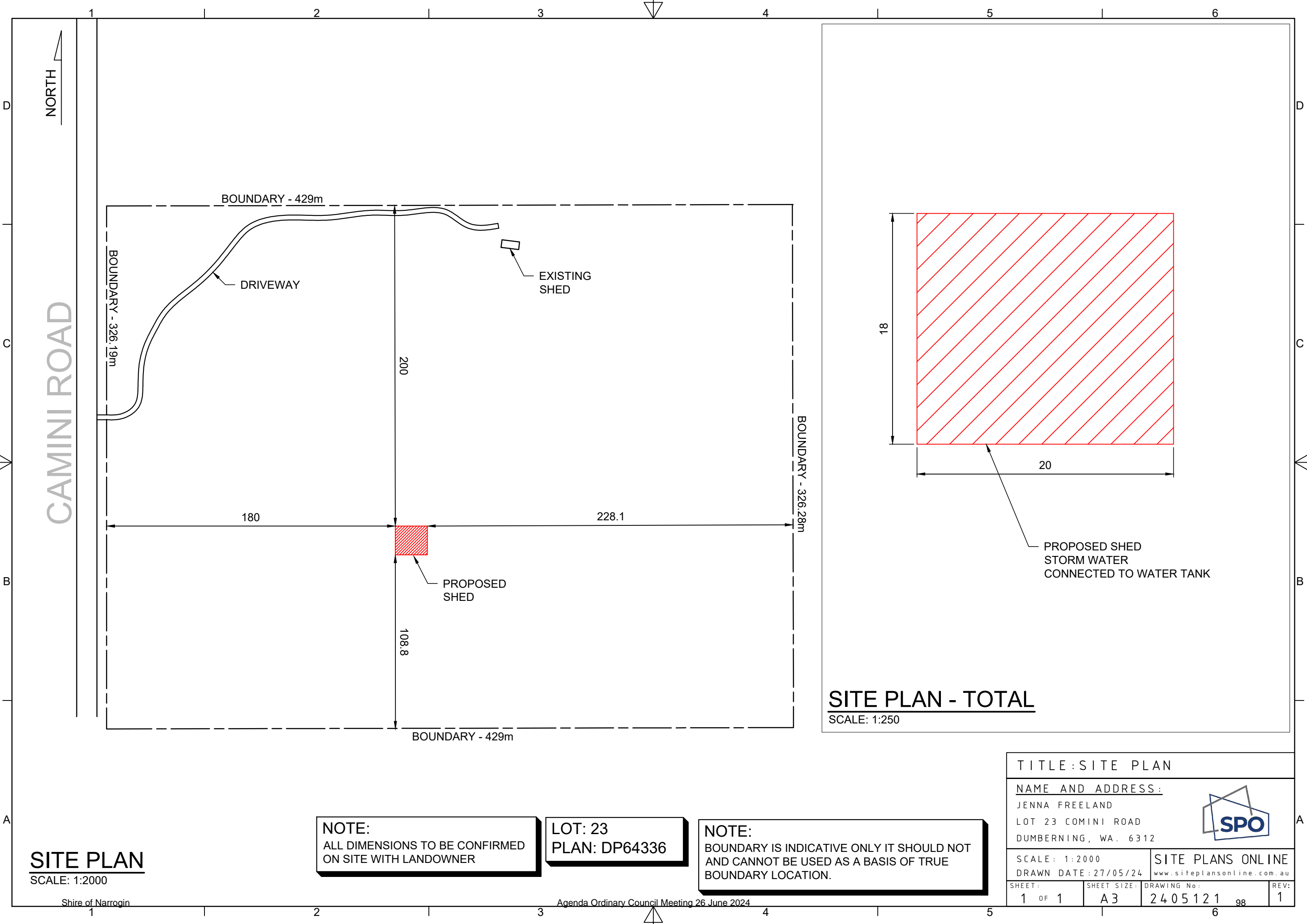
Example of Site Plan



(Source: Residential Design Codes of Western Australia)

Rear Elevation Example



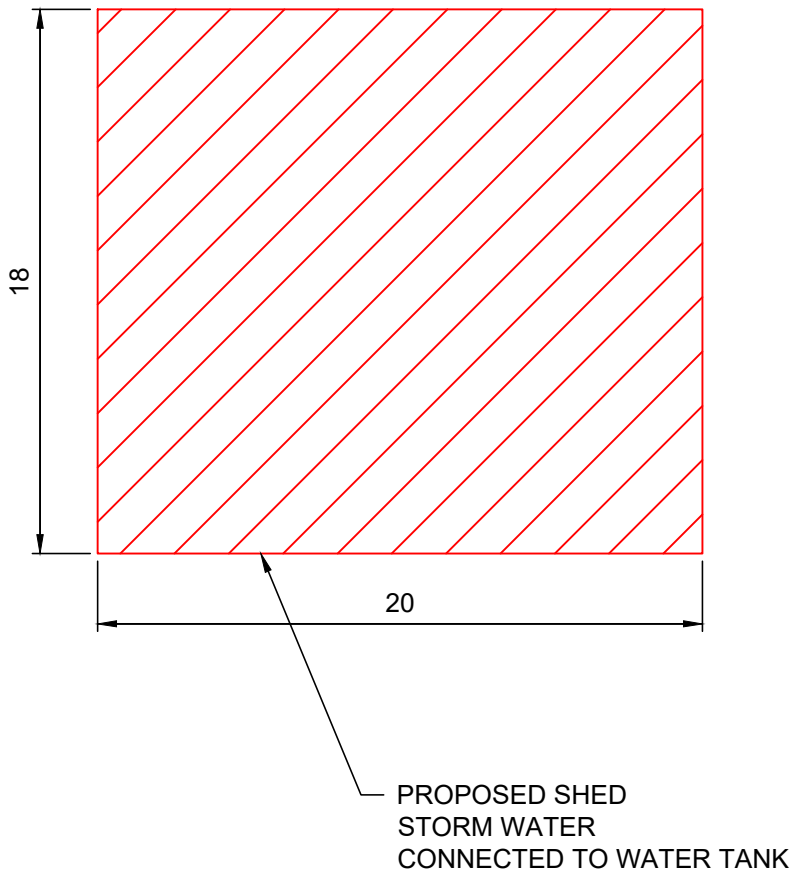


CAMINI ROAD

NORTH

SITE PLAN - TOTAL

SCALE: 1:250



SITE PLAN
SCALE: 1:2000

NOTE:
ALL DIMENSIONS TO BE CONFIRMED
ON SITE WITH LANDOWNER



LOT: 23
PLAN: DP64336

NOTE:
BOUNDARY IS INDICATIVE ONLY IT SHOULD NOT
AND CANNOT BE USED AS A BASIS OF TRUE
BOUNDARY LOCATION.

TITLE: SITE PLAN			
NAME AND ADDRESS:			
JENNA FREELAND			
LOT 23 COMINI ROAD			
DUMBERNING, WA. 6312			
SCALE: 1:2000		SITE PLANS ONLINE	
DRAWN DATE: 27/05/24		www.siteplansonline.com.au	
SHEET:	SHEET SIZE:	DRAWING No:	REV:
1 OF 1	A3	2405121 98	1



COMPLIANCE CERTIFICATE FOR BUILDING DESIGN

Property Description Street Address to include number, street suburb, locality, postcode	Enclosed Steel Clad & Framed Shed 18.0m span by 20.0m long, 5.6m eave 136 Graham Road Narrogin WA 6312 <i>Design suitable for Wind Regions N1-N4 Certifier or Owner to confirm that the wind loadings for this design are true and correct for the address and location stated.</i>																																									
Description Components Certified Clearly state the extent of work covered by this certificate	Steel Framing Frame connections Frame bracing Foundation piers only Steel cladding 0.42mm BMT Floor slab design by others																																									
Basis of Certification Detail the basis for issuing the certificate & the extent to which tests, specifications rules, standards, codes of practise and other publications are relied upon	<table border="0"> <tr> <td>AS4600-2018</td> <td>AS1170.0 - 2002</td> </tr> <tr> <td>AS4100-2020</td> <td>AS 1170.1 - 2021</td> </tr> <tr> <td>AS2870 - 2011</td> <td>AS1170.2 - 2021</td> </tr> <tr> <td>AS1562 - 2018</td> <td>AS1170.3 - 2003</td> </tr> <tr> <td>AS1289 - 2000</td> <td>AS1170.4 - 2007</td> </tr> <tr> <td>AS4678 - 2002</td> <td>AS4055-2021</td> </tr> <tr> <td>AS3600-2018</td> <td>AS3623-2018</td> </tr> <tr> <td>BCA / NCC 2022</td> <td></td> </tr> </table>			AS4600-2018	AS1170.0 - 2002	AS4100-2020	AS 1170.1 - 2021	AS2870 - 2011	AS1170.2 - 2021	AS1562 - 2018	AS1170.3 - 2003	AS1289 - 2000	AS1170.4 - 2007	AS4678 - 2002	AS4055-2021	AS3600-2018	AS3623-2018	BCA / NCC 2022																								
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Signature of Competent Person	I certify that the items described above, if installed or carried out in accordance the information contained in this certificate, including any referenced documentation, will comply with the National Construction Code (BCA) of Australia or International Standard. Signature of Competent Person :  Date : 9-Jun-23																																									

GENERAL NOTES

G1. Do not scale drawings. Written dimensions shall have precedence over scaled drawings. Dimensions, conditions and levels to be verified on site, report any discrepancies to the applicable building designer(s).

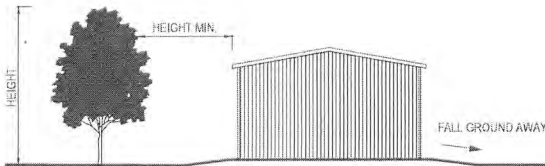
G2. All new construction work and the installation of services must comply with the Building Code of Australia, relevant Australian Standards, relevant codes and manuals, local municipal by-laws and requirements of the relevant authorities.

G3. This building design should be reviewed by an appropriately qualified person with regards to the relevant Occupations Health & Safety Act in your state.

G4. Moisture or Moisture Retaining materials should not be permitted to remain in intimate contact with Zincalume or Colorbond Steel (roof & wall sheeting). Such contact will ultimately result in perforation (rust) of the material.

G5. Clay soils will swell and shrink with variations in moisture content. This movement may cause damage to the building. In order to minimise the damage we recommend the following precautions are taken.

- Provide adequate site drainage to ensure water will not pond against or near the building.
- Grade the site within 2.0m of the building away from building, to ensure that water will not pond near the building.
- Maintain sewerage, stormwater and other drainage systems so that leakages will not occur. If they do occur they should be repaired promptly.
- Trees and shrubs should not be planted or allowed to exist, closer than 0.75 times their mature height to the building. Avoid establishing garden beds next to the building. Gardens and lawns should be watered adequately but not excessively. Uniform, consistent watering can be important to prevent damage to the foundations during dry spells or drought.



George Zuev
NER 326457

Mr George Zuev
MIEAust CPEng NER



National
Engineering
Register

09 JUN 2023

Signature

Date

Registered on the NER in the area(s)
of practice of Civil Engineering

CONCRETE

C1. All workmanship and materials shall be in accordance with AS 3600 current editions with amendments, except where varied by the contract documents.

C2. Concrete Characteristics:

ELEMENT	STRENGTH f _c	SLUMP	MAX AGG. SIZE
Piers	25 MPa	80mm ± 15	20 mm
Footings	25 MPa	80mm ± 15	20 mm

C3. Cover to reinforcement shall be obtained by the use of approved bar chairs. All bar chairs to be spaced at 1000ctrs maximum. Cover shall not be less than the size of the aggregate or the main bars.

Concrete Cover:

Piers	= 65mm U.N.O.
Footings	= 50mm U.N.O.
Strip Footings	= 50mm U.N.O.

C4. Sizes of concrete elements do not include thickness of applied finish.

C5. No holes, chases or embedment of pipes other than those shown on the structural drawings shall be made in concrete members without the approval of the Engineer.

C6. Construction joints shall be properly formed and located only where shown or specifically approved by the Engineer.

C7. Reinforcement is represented diagrammatically, it is not necessarily shown in true projection.

C8. Splices in reinforcement shall be made only in the positions shown, unless the approval of the engineer is obtained for any other splice.

C9. Welding of reinforcement will not be permitted unless noted on the structural drawings.

C10. Pipes or conduits shall not be placed within the cover to reinforcement without the approval of the Engineer.

C11. Reinforcement is to be supplied and bent in accordance with AS 1302, AS 1303 & AS 1304 current editions and amendments. Reinforcement is denoted by the following symbols:

R	denotes structural grade round bars grade 250
N	denotes hot rolled deformed
SL	denotes hard drawn steel wire square fabric
RL	denotes hard drawn steel wire rectangular fabric
L	denotes hard drawn steel wire trench mesh

C12. All reinforcement for any one pour shall be completely placed and tied prior to inspection. No concrete shall be poured until reinforcement has been inspected and approved.

C13. Foundations to be cast on/in a naturally compacted subgrade or approved compacted fill, compaction to be to a minimum of 98% standard dry density to AS 1289.E1.1.

C14. All concrete shall be properly compacted by means of approved vibrators.

C15. Where walls are non-load bearing at either horizontal or vertical faces they shall be separated from concrete or brickwork by 10mm thick bituminous canite or similar.

C16. Concrete shall be separated from supporting masonry by two layers of suitable membrane or as directed by the Engineer. Vertical faces of concrete to be kept free by a 10mm thickness bituminous canite or similar.

17

STRUCTURAL STEELWORK

S1. All workmanship and materials shall be in accordance with AS 4100.

S2. Unless noted otherwise all steel shall be in accordance with:

- AS 3678 and AS 3679 Grade 300 for rolled sections
- AS 1163 Grade 350 for square hollow sections
- AS 1074 Grade 200 for circular hollow sections
- AS 1397 Grade 450 for cold formed light gauge sections

S3. The contractor shall provide temporary bracing as necessary to stabilise the structure during erection and leave in place until permanent bracing elements are constructed.

S4. Welding if required shall be in accordance with AS 1554 and be performed by an experienced operator.

S5. Welds shall be 6mm continuous fillet unless noted otherwise.

S6. Butt welds are to be complete penetration butt welds as defined in AS1554. E48XX electrodes shall be used.

S7. Refer to structural drawings for purlin and girt sizes and spacings. Purlins and girts shall be installed in accordance with manufacturers directions. Use washers under bolt head and not. Purlin bolts shall be:

- M12 4.6/S for sections up to 250mm deep
- M16 4.6/S for sections over 250mm deep

S8. Purlin cleats shall be 5mm thick, with 6mm cfw, unless otherwise noted.

S9. Bolt type and procedure is as follows:

4.6/S Refers to commercial bolts of strength grade 4.6 conforming to AS 1111 and tightened using a standard wrench to a 'snug tight' condition.

8.8/S Refers to high strength bolts of strength grade 8.8 conforming to AS 1252 and tightened using a standard wrench to a 'snug tight' condition.

8.8/TF Refers to high strength bolts of strength grade 8.8 conforming to AS 1252 and fully tensioned in a controlled manner to the requirements of AS 4100.

S10. All Structural steelwork below ground to be encased by concrete 75mm min. all round.

S11. Concrete encased structural steel to be enclosed by SL41 mesh placed 25mm clear of steelwork. Encasing to provide 50mm min. cover, 75mm min. cover where exposed to earth. All steelwork to be given one shop coat of approved paint unless otherwise noted.

BRICKWORK / BLOCKWORK

B1. All brickwork / blockwork shall comply with AS 3700.

B2. Mortar to brickwork / blockwork shall be 1:1:6 unless otherwise specified.

B3. Minimum compressive strength of brick to be 30Mpa unless otherwise approved.

B4. Minimum compressive strength of concrete blocks to be 15Mpa unless otherwise approved.

B5. All joints in brick and / or block walls to be in accordance with the relevant codes and good trade practice.

B6. Cavity wall ties to be in accordance with current standards and requirements.

B7. All steel columns, mullions and horizontal supports, provide 3.2mm dia ties welded or fixed to steelwork in an approved manner at 600ctrs.

B8. Provide articulation / expansion joints at 6.0m ctrs. max.



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PROPOSED PROJECT

McKenzie, Corey
MCKENZIES TRANSPORT
136 GRAHAM ROAD
NARROGIN WA 6312

DESCRIPTION

DETAILED CONNECTIONS DETAIL

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STRUCTURAL AND CIVIL ENGINEERS

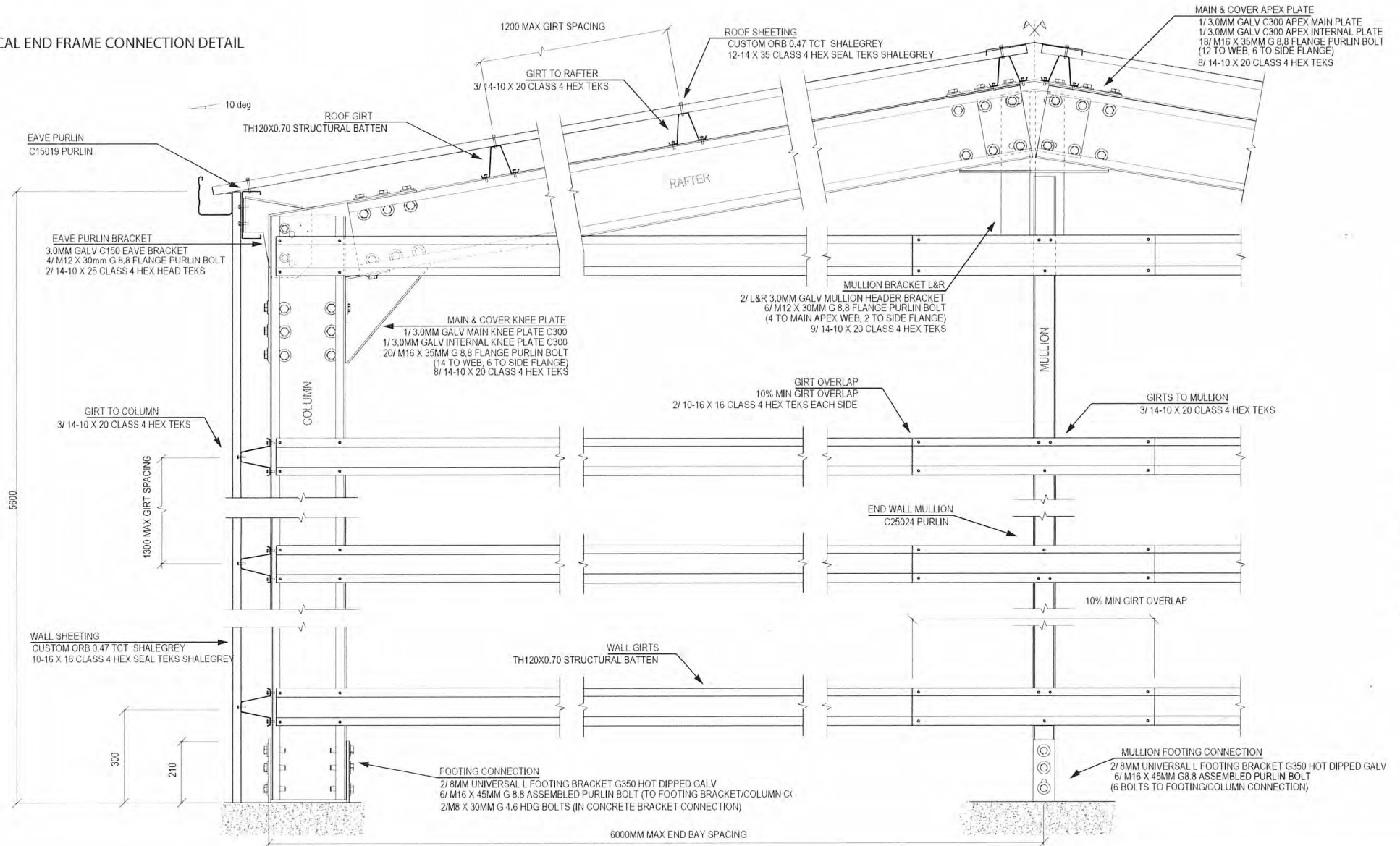
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60 Princes Highway, Cobargo NSW 2550
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938 307

Issue: B	DESIGN: E.B.D	DRAWN BY: N.J.W
SCALE: N.T.S	SIZE: A3	DATE: 7/06/2023
REGION: A	REGIONAL WIND SPEED V(500): 45 M/S	TERRAIN CAT: 2

DRAWING NO.

MCKEN034429 - 01

TYPICAL END FRAME CONNECTION DETAIL



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PROPOSED PROJECT McKenzie, Corey
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DESCRIPTION DETAILED CONNECTIONS DETAIL

Agenda Ordinary Council Meeting 26 June 2024

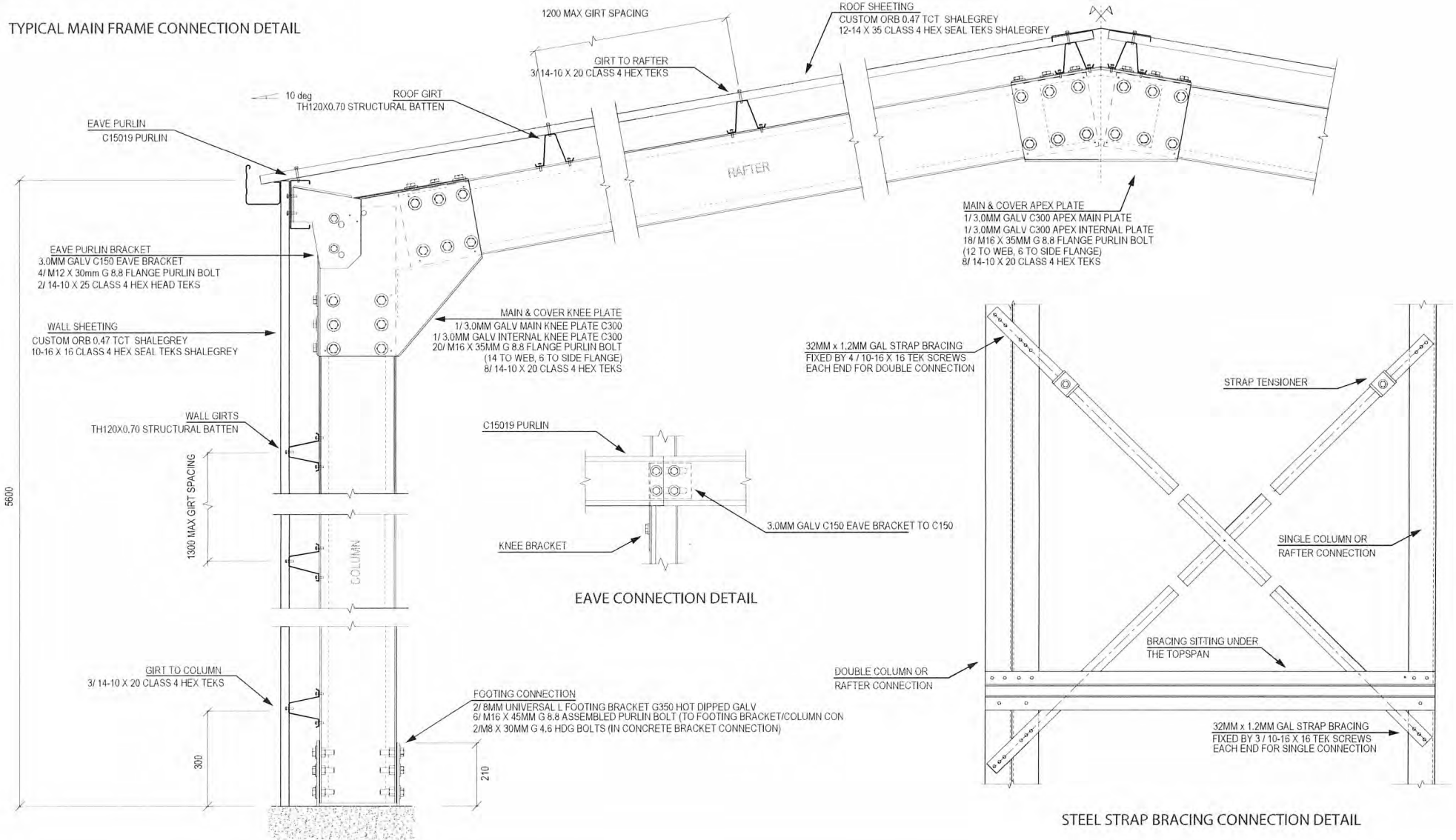
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SCALE: N.T.S	SIZE: A3	DATE: 7/06/2023
REGION: A	REGIONAL WIND SPEED V(500): 45 M/S	TERRAIN CAT: 2

DRAWING NO.

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TYPICAL MAIN FRAME CONNECTION DETAIL



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PROPOSED PROJECT
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MCKENZIES TRANSPORT
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REGION: A	REGIONAL WIND SPEED V(500): 45 M/S	TERRAIN CAT: 2

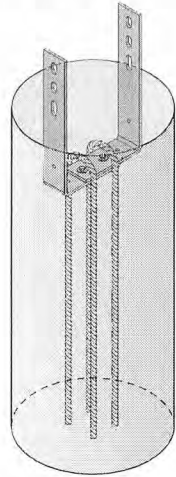
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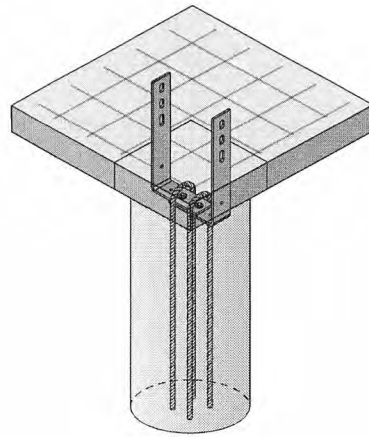
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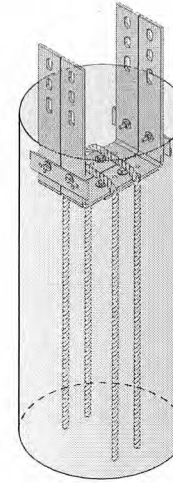
TYPICAL PIER AND SLAB CONNECTION DETAILS



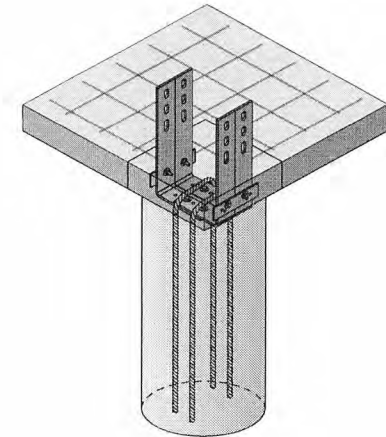
FOOTING BRACKET
FOR SINGLE COLUMN - PIER ONLY



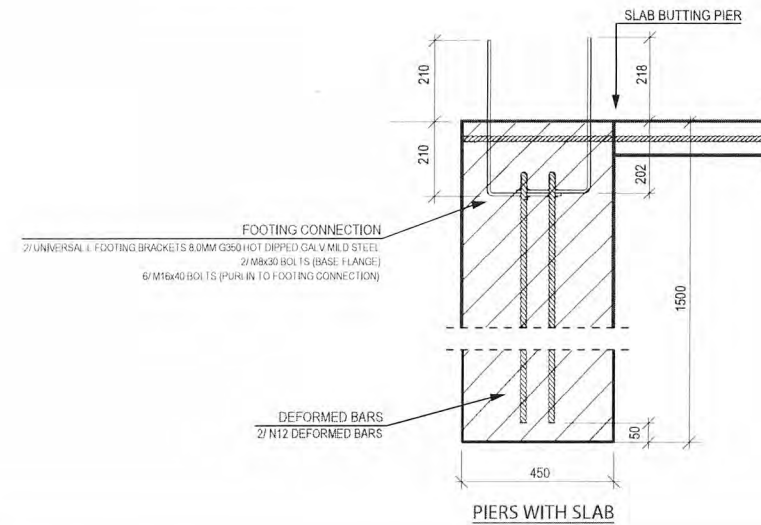
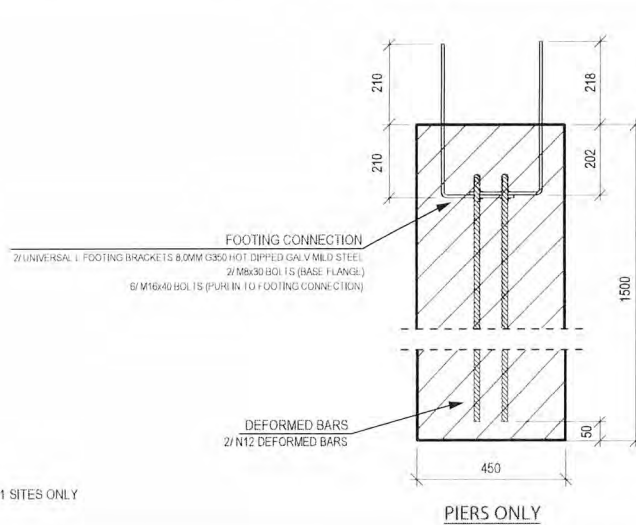
FOOTING BRACKET
FOR SINGLE COLUMN - WITH SLAB



FOOTING BRACKET
FOR BTB COLUMN - PIER ONLY



FOOTING BRACKET
FOR BTB COLUMN - WITH SLAB



- S, M OR H1 SITES ONLY



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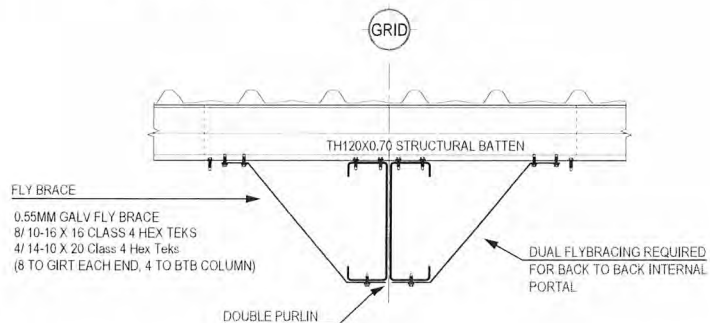
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MCKEN034429 - 04

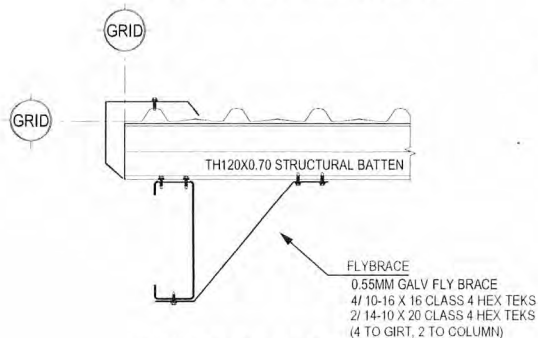
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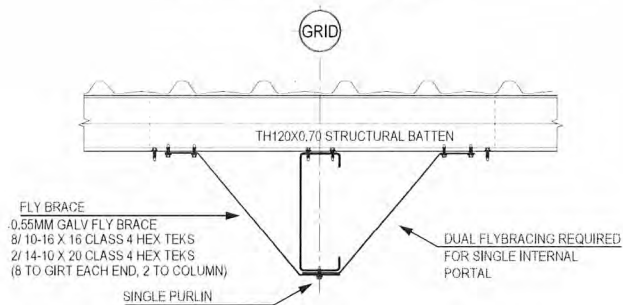
DETAILED CONNECTIONS CONTINUED



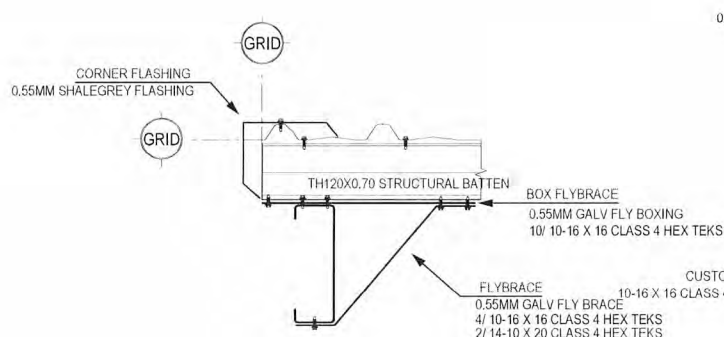
DOUBLE PURLIN/GIRTS CONNECTION DETAIL



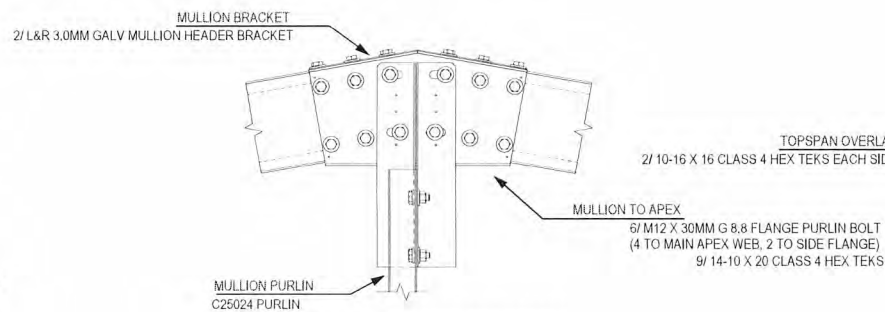
END FRAME PURLIN/ SIDE WALL ONLY



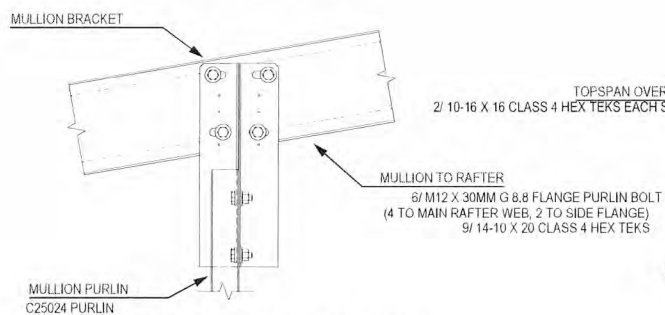
SINGLE PURLIN/GIRT CONNECTION DETAIL



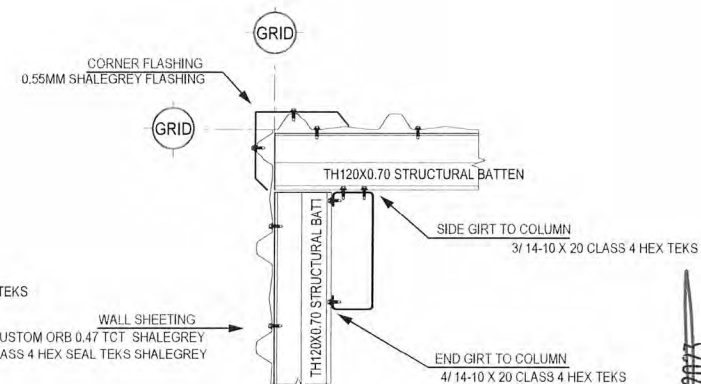
END FRAME PURLIN / ROOF ONLY



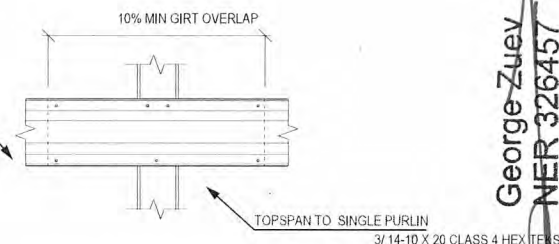
CENTRE MULLION CONNECTION DETAIL



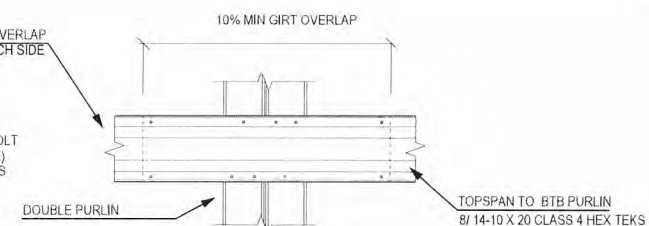
INTERMEDIATE MULLION CONNECTION DETAIL



ENCLOSED CORNER DETAIL



SINGLE PURLIN OVERLAP DETAIL



DOUBLE PURLIN OVERLAP DETAIL



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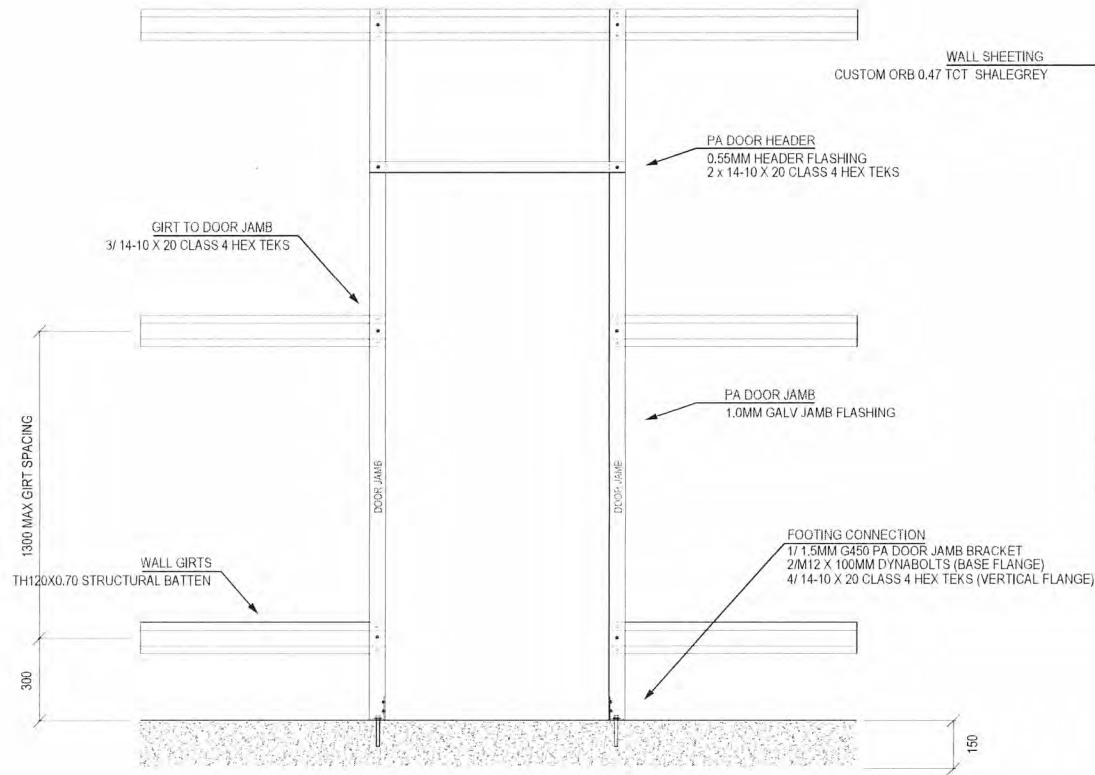
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DRAWING NO.

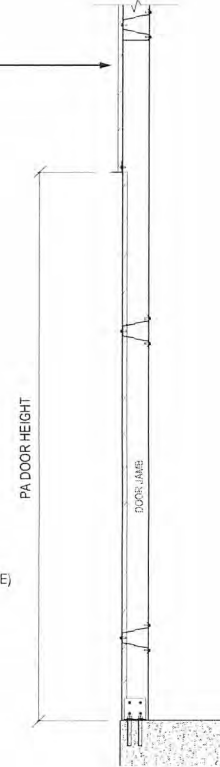
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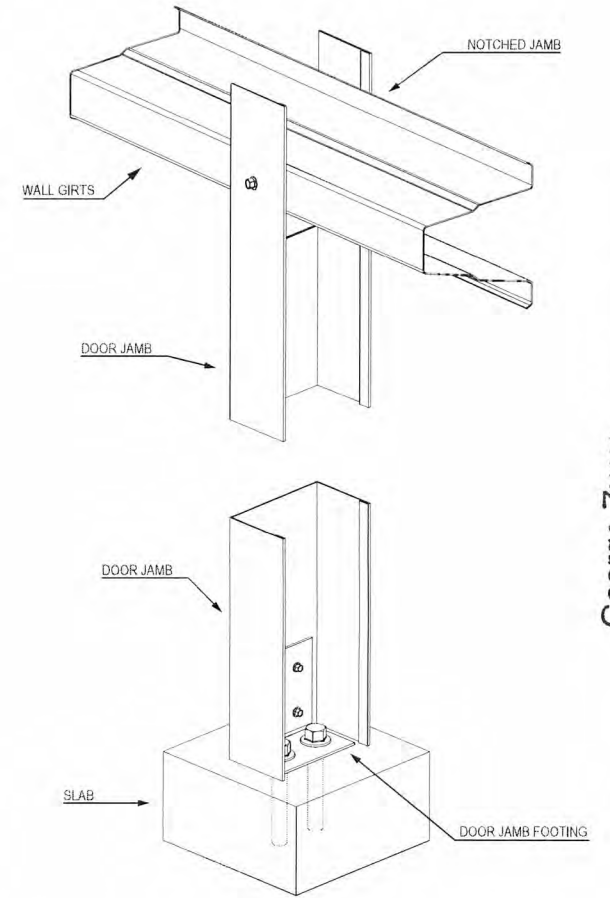
TYPICAL PA DOOR DETAILS



PA DOOR FRONT ELEVATION DETAIL



PA DOOR SIDE ELEVATION DETAIL



DOOR JAMB FOOTING DETAIL VIEW

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Agenda Ordinary Council Meeting 26 June 2024

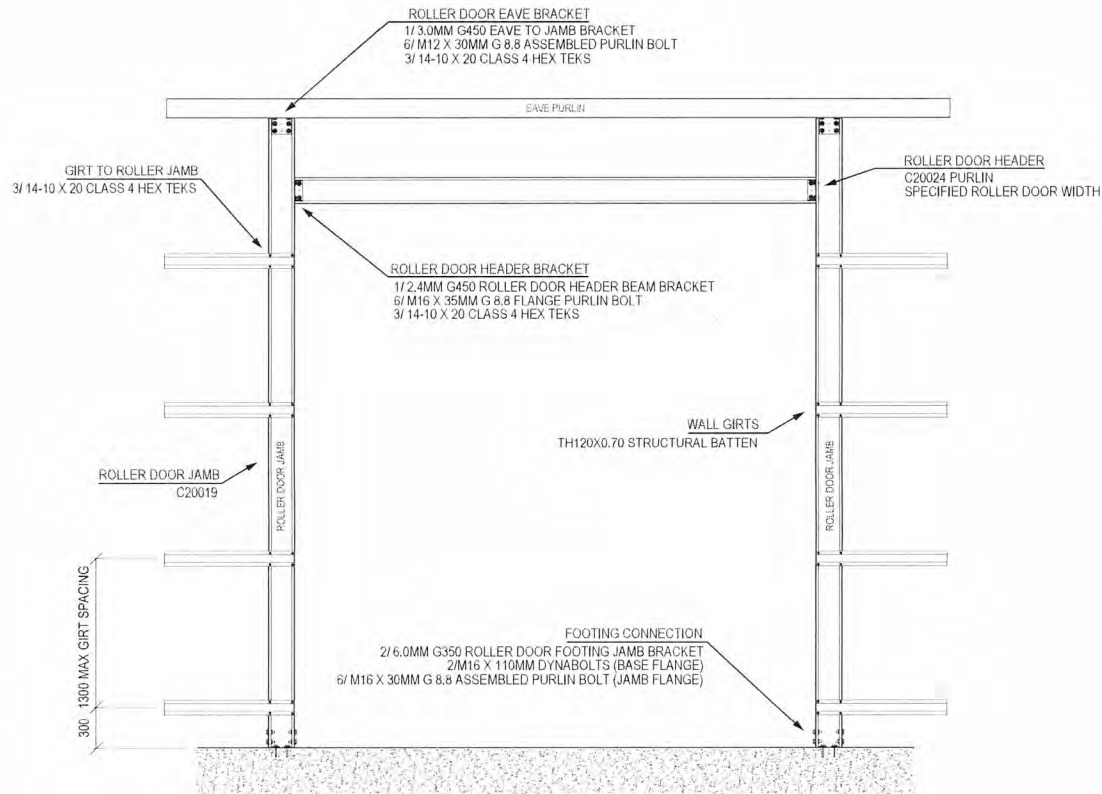
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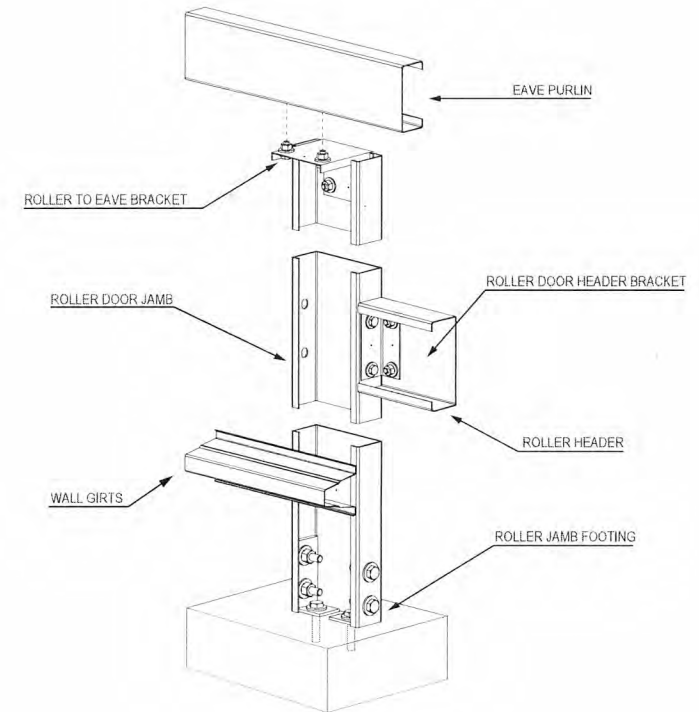
MCKEN034429

TYPICAL ROLLER DOOR SIDE DETAILS

Ultimate Wind Speed	3.2m Opening	4.3m Opening	5m Opening
45 m/s	C15015	C15015	C20015
57 m/s	C15015	C15019	C20019



ROLLER DOOR FRONT ELEVATION DETAIL



ROLLER DOOR CONNECTION DETAILS

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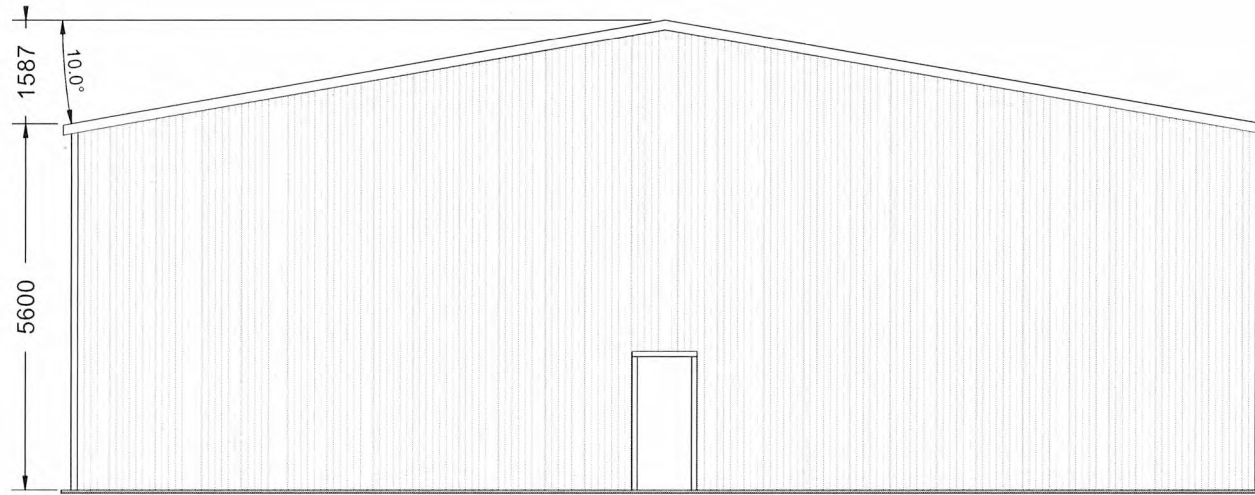
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Agenda Ordinary Council Meeting 26 June 2024

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REGION: A	REGIONAL WIND SPEED V(500): 45 M/S	TERRAIN CAT: 2

DRAWING NO.

MCKEN034429



FRONT ELEVATION



REAR ELEVATION

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JOB DETAILS

PROPOSED PROJECT: McKen034429 | 18m x 20m x 5.6m - Enclosed Building

CUSTOMER: McKenzies Transport, Corey McKenzie

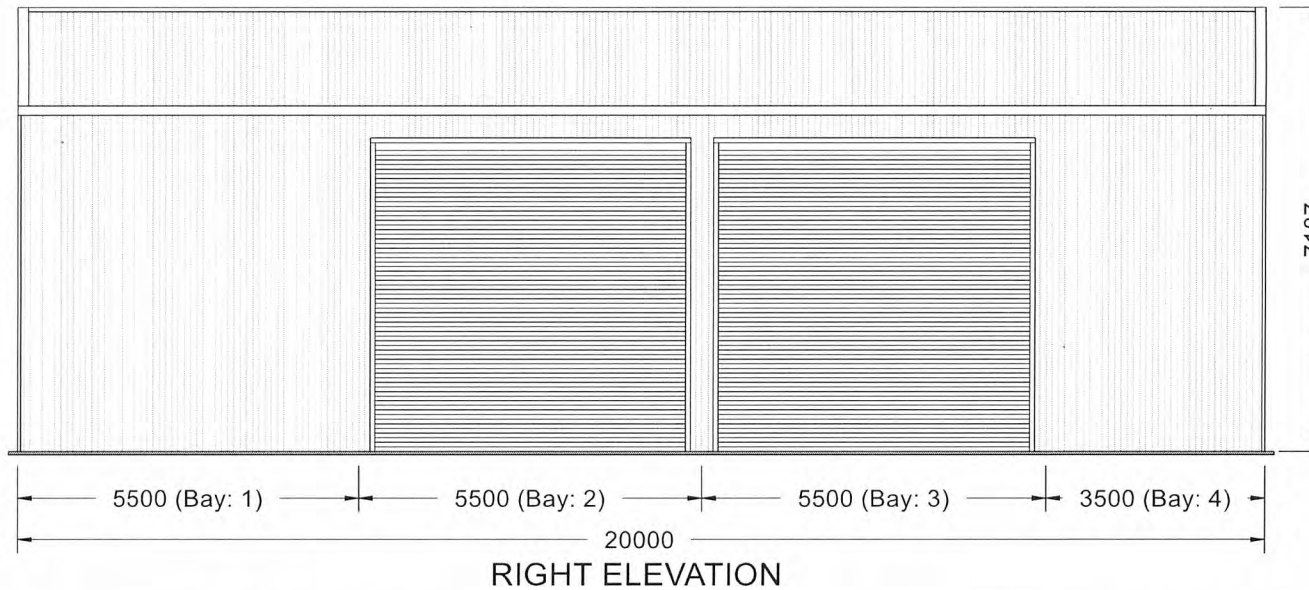
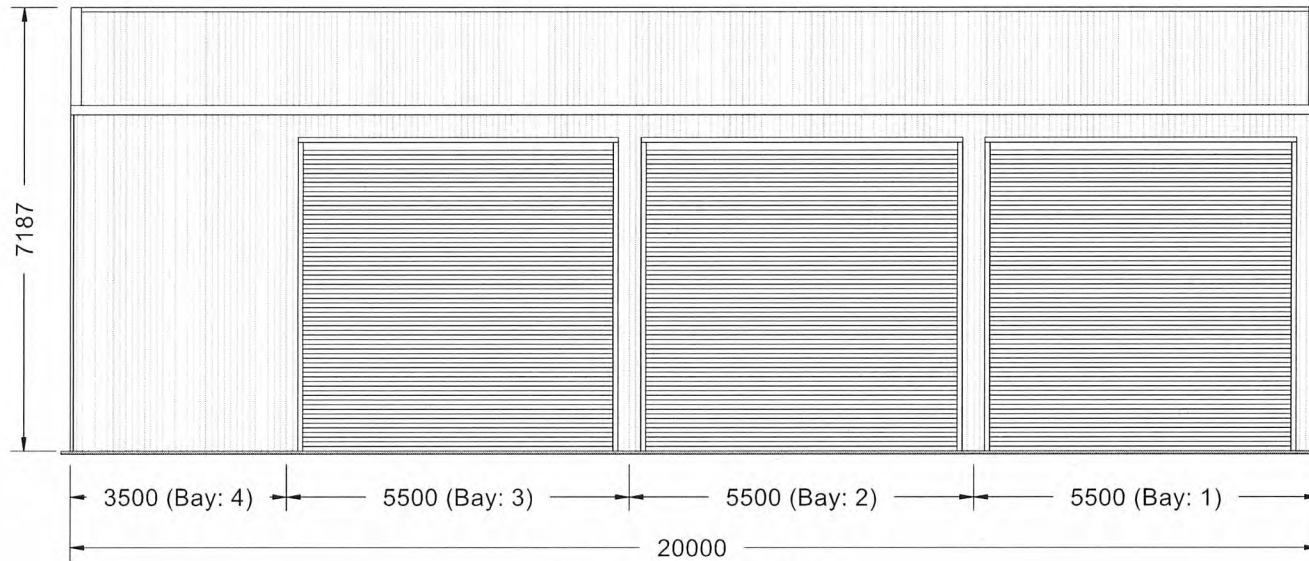
SITE: 136 Graham Road, Narrogin, WA, 6312

DRAWING DETAILS

DRAWING NO.: AP34429

DRAWING TYPE: Architectural Drawings

DRAWING SCALE: 1:73



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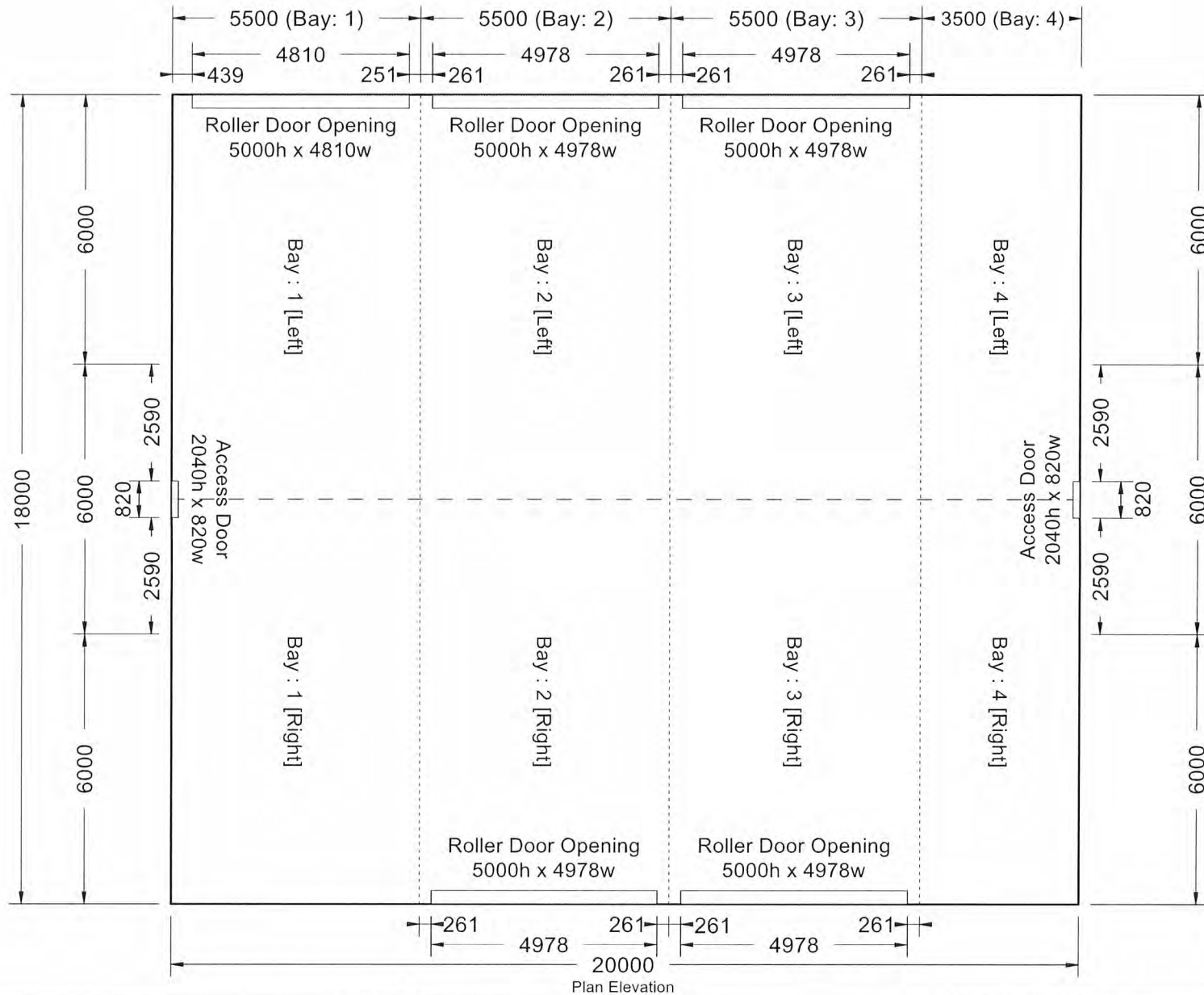
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DRAWING DETAILS

DRAWING NO.: AP34429

DRAWING TYPE: Architectural Drawings

DRAWING SCALE: 1:77



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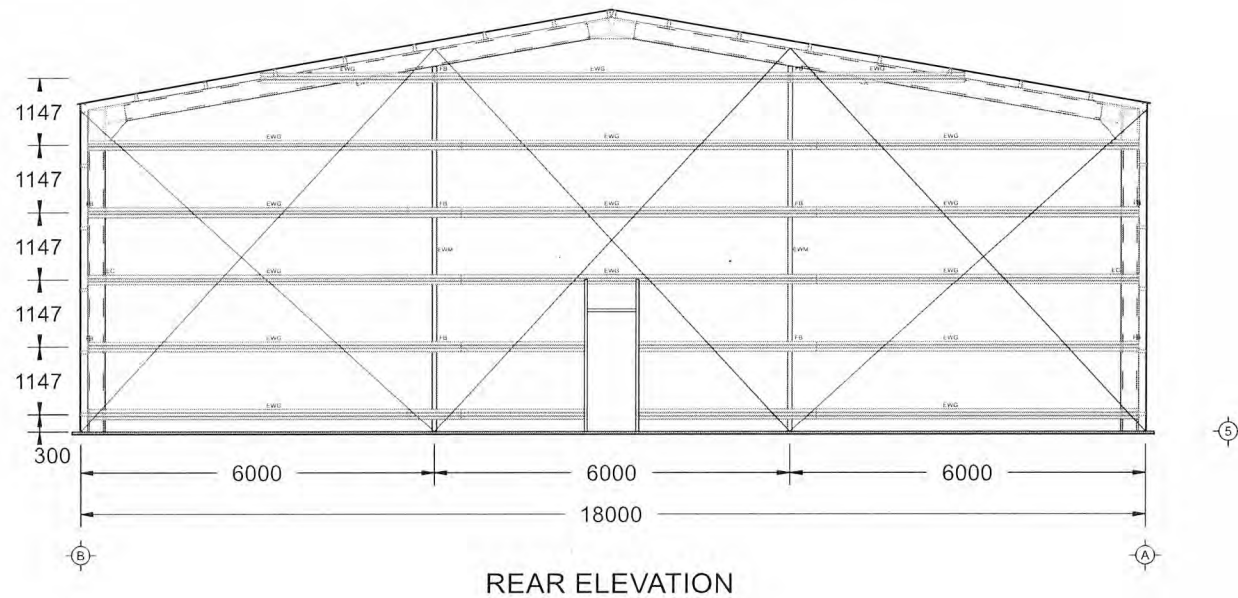
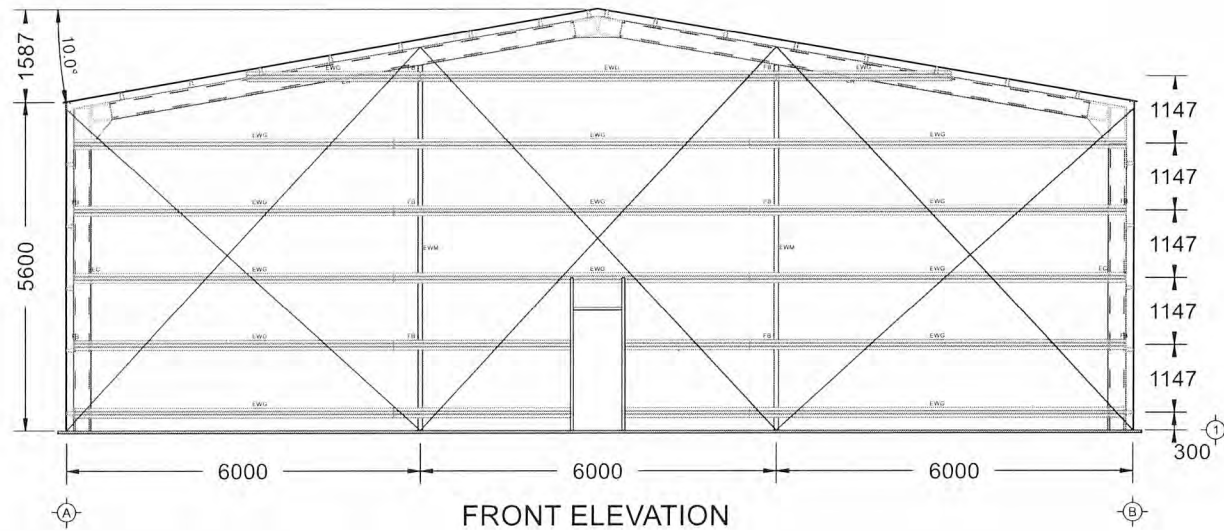
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DRAWING DETAILS

DRAWING NO.: AP34429

DRAWING TYPE: Architectural Drawings

DRAWING SCALE: 1:86



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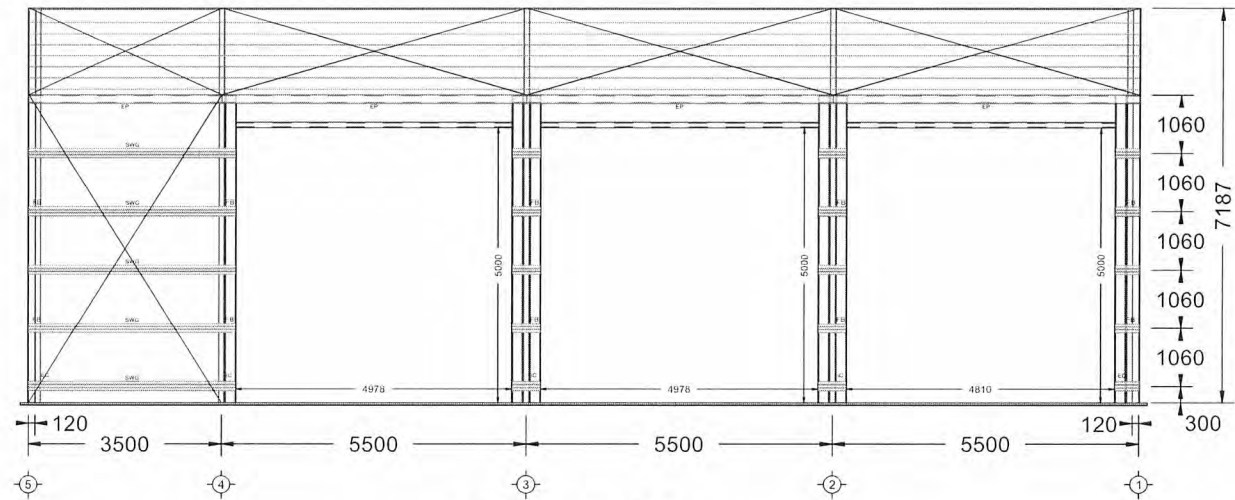
SITE: 136 Graham Road, Narrogin, WA, 6312

DRAWING DETAILS

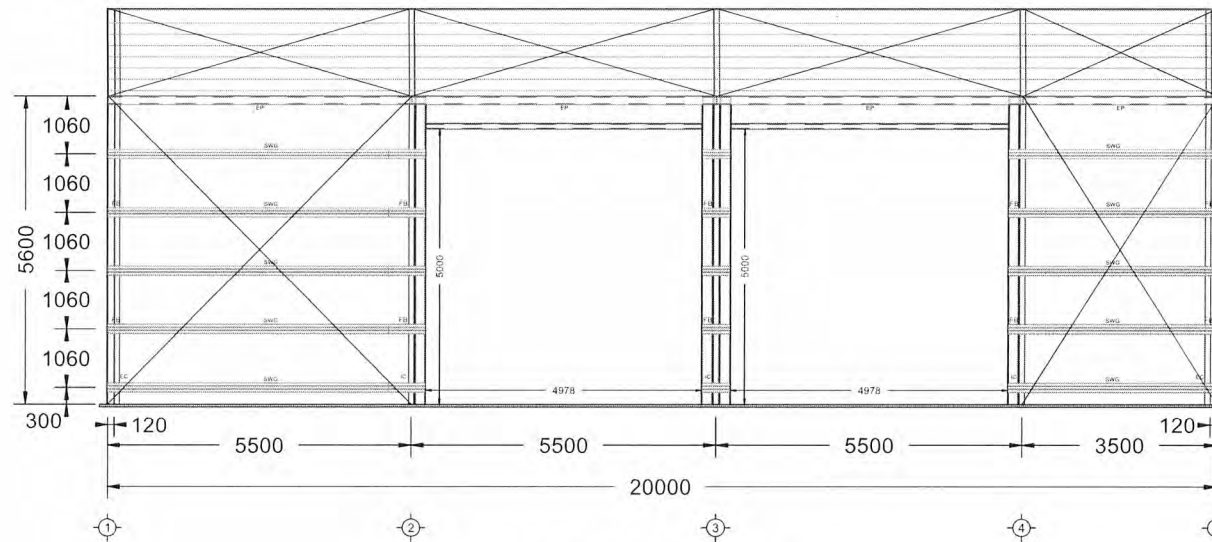
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DRAWING TYPE: Engineering Drawing

DRAWING SCALE: 1:81



LEFT ELEVATION



RIGHT ELEVATION

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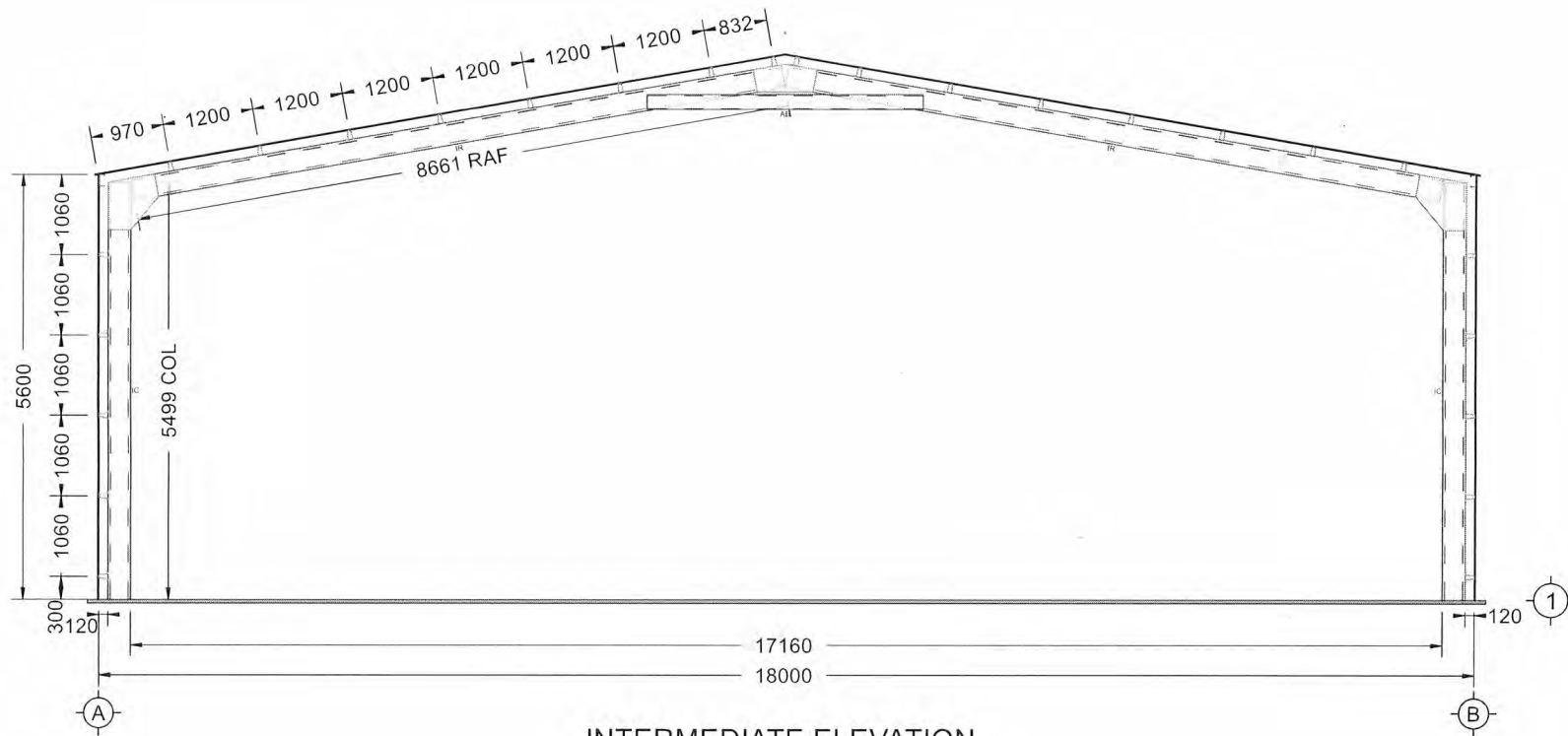
SITE: 136 Graham Road, Narrogin, WA, 6312

DRAWING DETAILS

DRAWING NO.: AP34429

DRAWING TYPE: Engineering Drawing

DRAWING SCALE: 1:87



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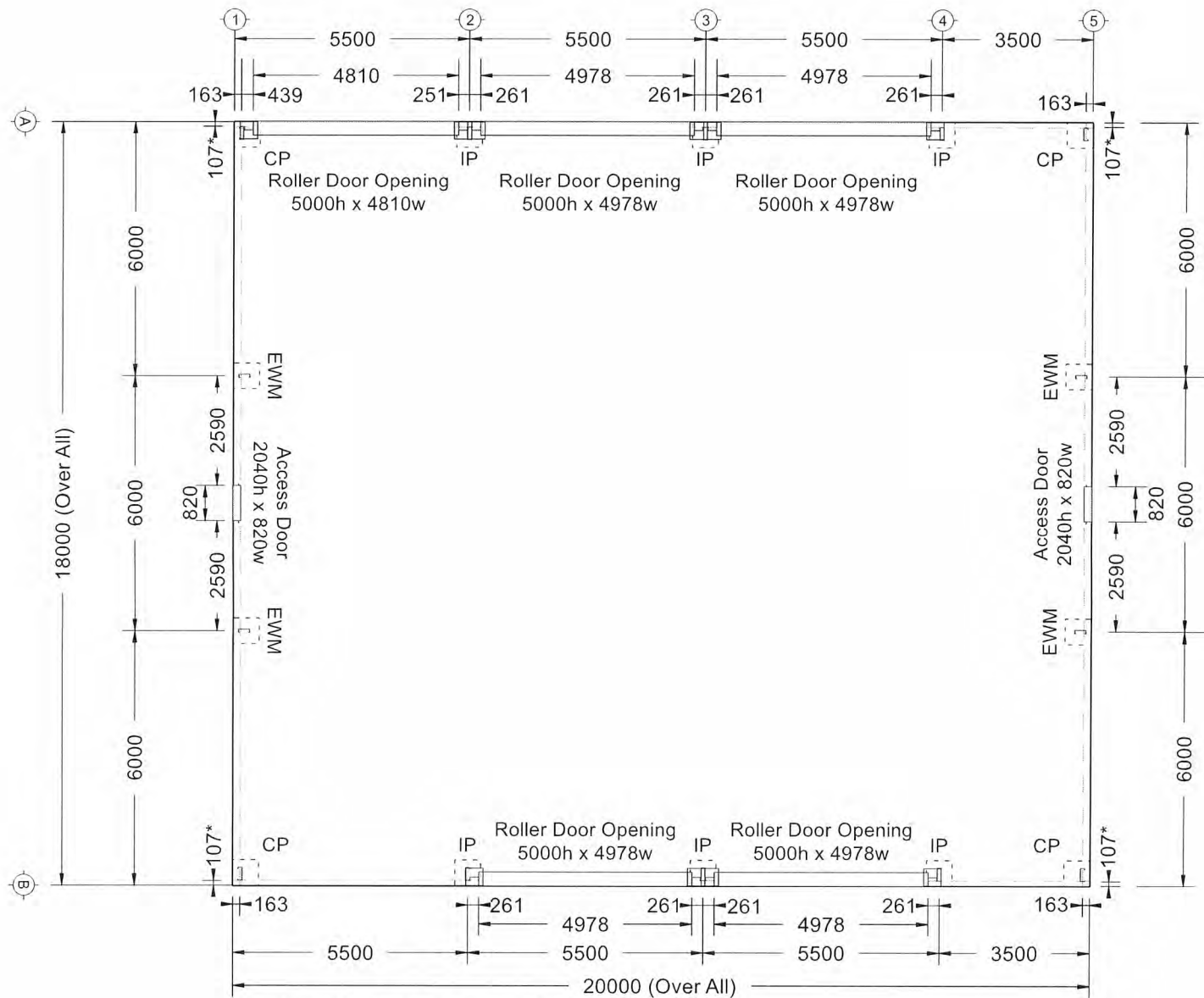
SITE: 136 Graham Road, Narrogin, WA, 6312

DRAWING DETAILS

DRAWING NO.: AP34429

DRAWING TYPE: Engineering Drawing

DRAWING SCALE: 1:62



*Outside of footing bracket to outside of slab.

FLOOR PLAN

EWM

Col Size C25024
Pier Size Ø 450 X 1500

CP

Col Size C30030
Pier Size Ø 450 X 1500

IP

Col Size C30030
Pier Size Ø 450 X 1500

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JOB DETAILS

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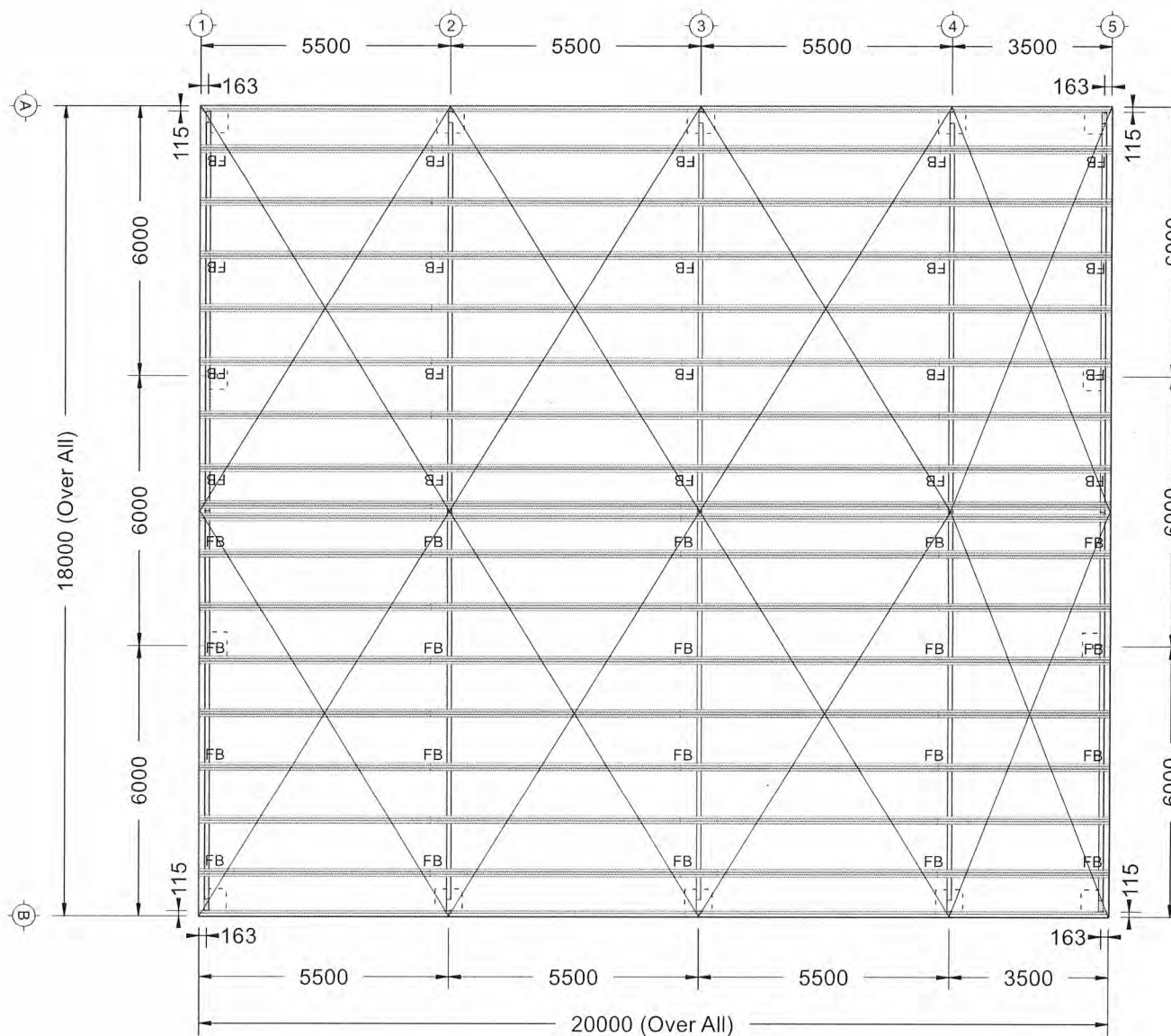
SITE: 136 Graham Road, Narrogin, WA, 6312

DRAWING DETAILS

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DRAWING TYPE: Engineering Drawing

DRAWING SCALE: 1:95



ROOF PLAN

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JOB DETAILS

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CUSTOMER: McKenzies Transport, Corey McKenzie

SITE: 136 Graham Road, Narrogin, WA, 6312

DRAWING DETAILS

DRAWING NO.: AP34429

DRAWING TYPE: Engineering Drawing

DRAWING SCALE: 1:95

George Zuev
NER 326457
09 JUN 2023

CLIENT DETAILS

Customer Name Corey McKenzie (McKenzies Transport)

Job Number McKen034429

Site Address 136 Graham Road, Narrogin, WA, 6312

BUILDING DETAILS

Width	18000 mm	Length	20000 mm	Eave Height	5600 mm	Roof Pitch	10 Degree
Terrain Cat	2	Wind Region	A	Wind Velocity	45 m/s m/s		
Side Bay Qty	4	Side Bay Width	5500 mm (Max)	End Bay Qty	3	End Bay Width	6000 mm (Max)

INTERNAL PORTAL FRAME

Internal Column (IC)	C30030
Internal Rafter (IR)	C30030
Knee Brace (KB)	NA
Knee Brace % Eave Height	NA
Apex Brace (AB)	C20015
Apex Brace % Width	20.00%
Open Bay Column	NA

END PORTAL FRAME

End Column (EC)	C30030
End Rafter (ER)	C30030
Knee Brace (KB)	NA
Knee Brace % Eave Height	NA
Apex Brace (AB)	NA
Apex Brace % Width	NA
End Wall Mullion (EWM)	C25024

PURLINS AND GIRTS

Eave purlin (EP)	C15019				
Side Wall Girts	TH120070	Max Spacing	1300 mm	% Girt Overlap	11.00%
Front End Wall Girts	TH120070	Max Spacing	1300 mm	% Girt Overlap	11.00%
Back End Wall Girts	TH120070	Max Spacing	1300 mm	% Girt Overlap	11.00%
Roof Purlin	TH120070	Max Spacing	1200 mm	% Purlin Overlap	11.00%

BRACING

Side Wall Cross Bracing	32mm x 1.2mm Steel Strapping	No. of Bays Cross Braced	2 bays
Front End Wall Cross Bracing	32mm x 1.2mm Steel Strapping	No. of Bays Cross Braced	3 bays
Back End Wall Cross Bracing	32mm x 1.2mm Steel Strapping	No. of Bays Cross Braced	3 bays
Roof Cross Bracing	32mm x 1.2mm Steel Strapping	No. of Bays Cross Braced	4 bays

BRACING (continued)

Side Wall Fly Bracing	120mm x 0.55mm G450 Bracket	No. of Fly Braces per Column	Every Alternate Row (minimum)
Front End Wall Fly Bracing	120mm x 0.55mm G450 Bracket	No. of Fly Braces per Mullion	Every Alternate Row (minimum)
Back End Wall Fly Bracing	120mm x 0.55mm G450 Bracket	No. of Fly Braces per Mullion	Every Alternate Row (minimum)
Roof Fly Bracing	120mm x 0.55mm G450 Bracket	No. of Fly Braces per Rafter	Every Alternate Row (minimum)

SHEETING & FLASHINGS

Roof Cladding Type	Custom Orb 0.47 TCT	Roof Cladding Colour	ShaleGrey
Wall Cladding Type	Custom Orb 0.47 TCT	Wall Cladding Colour	ShaleGrey
Gutter Type	FasciaGutter	Gutter Colour	Monument
Barge Type	Barge	Barge Colour	Monument
Downpipe Type	100 x 75 Rectangular Downpipe	Downpipe Colour	ShaleGrey

LEFT LEANTO PORTAL FRAME

Internal Rafter	NA
Internal Column	NA
End Rafter	NA
End Column	NA
Eave Purlin	NA

RIGHT LEANTO PORTAL FRAME

Internal Rafter	NA
Internal Column	NA
End Rafter	NA
End Column	NA
Eave Purlin	NA

BEAMOVER FRAME

Beamover Beam (Internal)	NA	Beamover Beam (Outer)	NA
Beamover Rafter	NA	Beamover Rafter Apex Brace	NA

ROLLERDOOR

Roller Door Width	Upto 3200 mm	Upto 4300 mm	Upto 6000 mm
Roller Door Header	C15015	C15015	C15015
Side Wall Roller Door Jamb	NA	End Wall Roller Door Jamb	NA

PERSONAL ACCESS DOOR

Side PA Door Frame	1mm thick unlipped C section 120 mm deep.	End PA Door Frame	1mm thick unlipped C section 120 mm deep.
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METAL SLIDING DOOR

Metal Sliding Door Header	NA
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10.2 TECHNICAL AND RURAL SERVICES

10.2.1 MRWA PROPOSED SPEED ZONE CHANGES – NARROGIN ENTRY ROADS

File Reference	28.4.3
Disclosure of Interest	Neither the Author nor Authorising Officer have any Impartiality, Financial or Proximity Interests that requires disclosure.
Applicant	Main Roads Western Australia
Previous Item Numbers	Nil
Date	29 May 2024
Author	Torre Evans – Executive Manager Technical & Rural Services
Authorising Officer	Dale Stewart – Chief Executive Officer
Attachments 1. Current Speed Zones 2. Proposed Speed Zones	

Summary

Council is requested to consider a Main Roads Western Australia (MRWA) proposal, to change the speed zones on entry roads in Narrogin as per attachment 2. Attachments 1 & 2 have been supplied by MRWA.

Background

Last year (2023) a community member contacted the Shire and MRWA requesting consideration be given to slowing the traffic on Kipling Street and Williams Road near the Cemetery to enhance public safety. Concurrently a Wickepin Shire Councillor contacted the Executive Manager Technical & Rural Services (EMTRS) regarding speed zone changes to Williams Road next to the Cemetery.

MRWA advised at that time, that they would consider these speed zone change requests however as they are revising speed zoning state-wide, they would take a wholistic approach to Narrogin entry roads when considering other rural municipalities within the state.

Also, about two years ago, the EMTRS received a request from Simron Transport to have the 80kmh signs at the Eastern end of Herald Street, relocated further East of their depot to improve safety for road users when trucks are entering and exiting their transport depot. MRWA declined this request as it did not comply with their specifications at that time.

During the month of May 2024, MRWA Officers requested to meet with the EMTRS to discuss proposed speed zone changes to Narrogin entry roads and to seek support from Council.

The EMTRS met with Jim Garret and Steve Byrne from MRWA and the Shire's Manager of Operations, where attachments 1 & 2 were presented for discussion. The EMTRS advised the MRWA Officers that the proposal for speed zone changes would be presented to the Council's Road Reference Group for discussion and recommendation to Council whereby the Council would resolve to either accept the changes or decline the changes.

An email with attachments 1 & 2, was received from MRWA Steve Bryne post the meeting as follows:

“Can you review and advise the proposed speed zoning as disused on 15/05/2023 with Jim Garrett and myself. They have been preliminary approved by Speed zoning in Perth, and we would like your endorsement on the changes that are attached before any more action is taken.”

Consultation

Consultation has occurred with:

- The Road Reference Group comprising of Shire President Ballard, Deputy Shire President Broad, Cr Wiese (Chairperson), and Cr Fisher;
- Chief Executive Officer;
- Manager of Operations; and
- MRWA Officers.

Statutory Environment

The changing of speed zones is not governed nor implemented by Local Governments in Western Australia, however such changes fall under the State Government and are the jurisdiction of MRWA.

MRWA considers the feedback from local government and makes the final decision.

Policy Implications

The Council's Policy Manual contains no policies that relate and nor are there any proposed.

Financial Implications

There are no financial implications or costs to the Shire with the proposed MRWA speed changes.

Strategic Implications

Shire of Narrogin Strategic Community Plan 2017-2027	
Objective:	1. Economic Objective (Support growth and progress, locally and regionally)
Outcome:	1.3 An effective well maintained transport network
Strategy:	1.3.1 Maintain and improve road network in line with resource capacity

Risk Implications

Risk	Risk Likelihood	Risk Impact / Consequence	Risk Rating	Principal Risk Theme	Risk Action Plan (Controls or Treatment proposed)
There is low risk should Council decline the MRWA proposed speed zone changes as MRWA may implement changes in	Possible (3)	Minor (2)	Medium (5-9)	Compliance Requirements	Consider the proposed speed changes and accept the

line with their current specifications state-wide with or without Council support.					officer recommendation
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Risk Matrix

Consequence		Insignificant	Minor	Moderate	Major	Catastrophic
Likelihood		1	2	3	4	5
Almost Certain	5	Medium (5)	High (10)	High (15)	Extreme (20)	Extreme (25)
Likely	4	Low (4)	Medium (8)	High (12)	High (16)	Extreme (20)
Possible	3	Low (3)	Medium (6)	Medium (9)	High (12)	High (15)
Unlikely	2	Low (2)	Low (4)	Medium (6)	Medium (8)	High (10)
Rare	1	Low (1)	Low (2)	Low (3)	Low (4)	Medium (5)

A risk is often specified in terms of an event or circumstance and the consequences that may flow from it. An effect may be positive, negative or a deviation from the expected and may be related to the following objectives; occupational health and safety, financial, service interruption, compliance, reputation and environment. A risk matrix has been prepared and a risk rating of six (6) has been determined for this item. Any items with a risk rating over 10 or greater (considered to be high or extreme risk) will be added to the Risk Register, and any item with a risk rating of 16 or greater will require a specific risk treatment plan to be developed.

Comment/Conclusion

In order for Council to review the proposal, the proposal was presented to Council's Road Reference Group in the first instance for discussion and comment prior to being recommended to Council.

The proposal was put to the group via email from the EMTRS as follows:

"Dear Road Reference Group,

Please see attached As Is current speed zones for Narrogin entry roads and MRWA Proposed speed zoning.

Last year a community member contacted the Shire and MRWA requesting consideration be given to slowing the traffic on Kipling Street and Williams Road near the Cemetery to enhance public safety. Kipling Street currently has 60kmh to 50kmh speed zones on it (which in my opinion should be 50kmh in the built-up area). The request for the Cemetery, on Williams Road also made sense to me to enhance safety to Cemetery users and as Lefroy Street is 60kmh.

MRWA advised me that they would consider these speed zone changers however as they are revising speed zoning state-wide, they would take a wholistic approach to Narrogin entry roads when considering other rural municipalities within the state.

Early last week MRWA Jim Garret and Steve Byrne met with myself and John Warburton to discuss proposed speed zone changes for Narrogin.

I can also advise that about 2 years ago, I had a request from Simron Transport to have the 80kmh signs relocated east of their depot which MRWA declined to do as it did not comply with their

specifications. You will see in the proposed speed zones that MRWA would relocate the 80kmh signs to just East of their depot which I think is a good idea due to trucks entering and exiting.

Rather than having a meeting, can I request that you review the proposed changes to speed zoning in Narrogin and come back to me by end of business this Friday 31 May 2024.

If you have any comment or questions on the proposals, I would really like to hear about it. I believe the proposed changes are consistent and would further enhance road safety for road users and the community in general.

Pending questions from the RRG, I would recommend to you to support the amendments and recommend them to Council for resolution, whereby I would submit a report to Council on the item."

A number of responses were received back from the Road Reference Group, and whilst there were some differing views, the consensus following discussion was that it supported the proposals from MRWA.

The implementation of speed zoning on roads within Western Australia is the responsibility of the State Government via MRWA in line with MRWA speed zone specifications.

The proposal put forward from MRWA to Council is a consultative one in which MRWA are seeking comment from Council on the proposal prior to taking further action. Council may accept or decline the proposal however the final decision to implement speed zone changes rests with MRWA.

Voting Requirements

Simple Majority

OFFICERS' RECOMMENDATION

That with respect to proposed Main Roads Western Australia (MRWA) Speed Zone Changes to Narrogin Entry Roads as per attachment 2, Council:

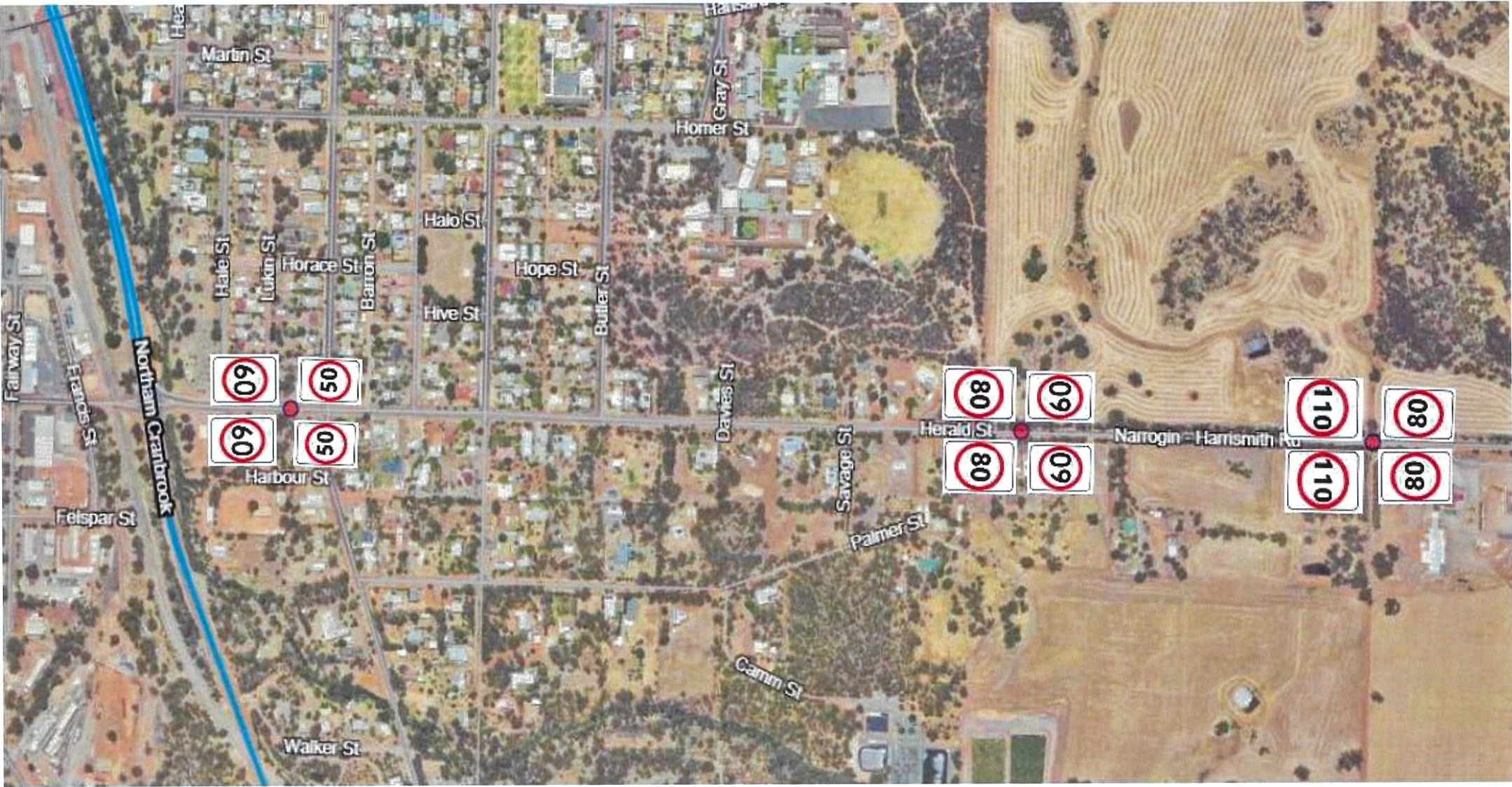
1. Support the changes; and
2. Request the Chief Executive Officer to advise MRWA accordingly.



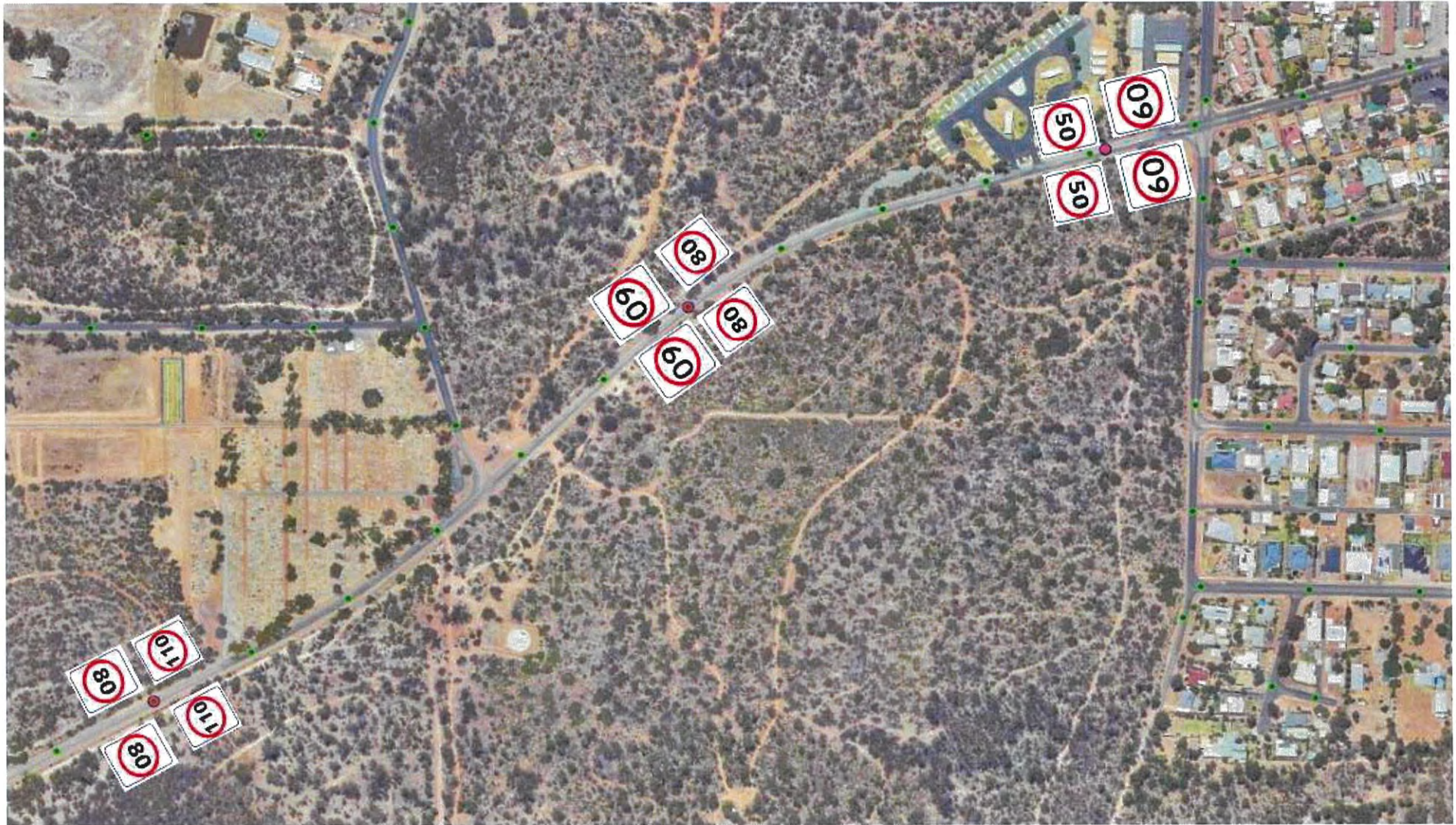
Kipling Street



Herald Street (Narrogin-Harrismith Rd)



Narrogin-Williams Hwy

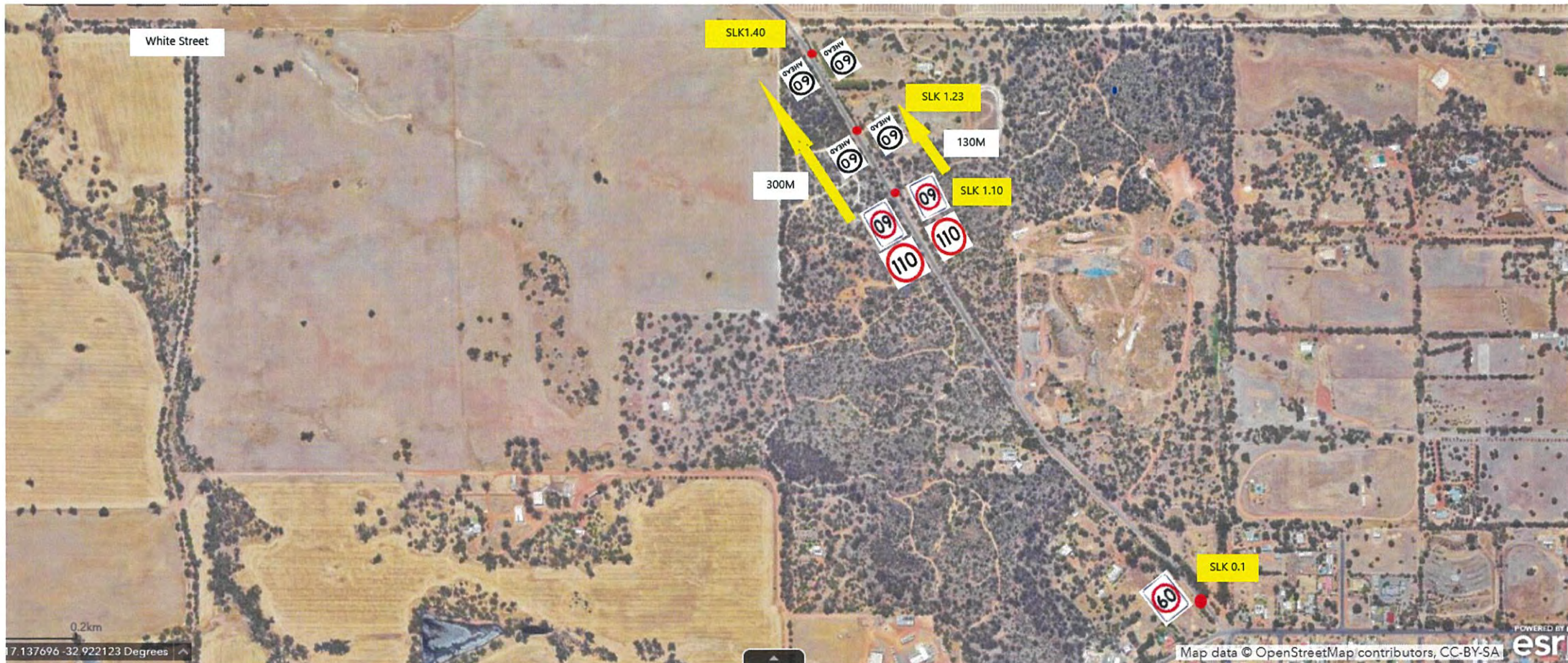


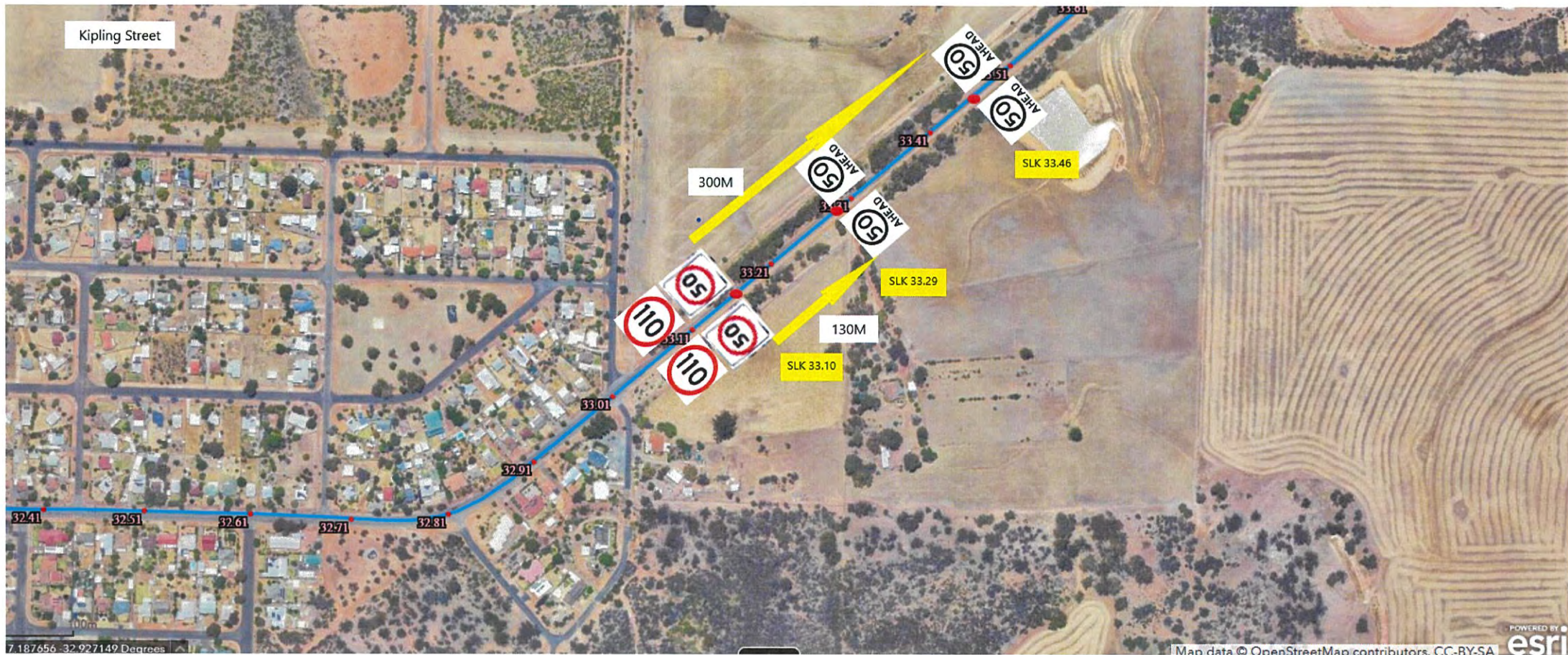
Clayton Street

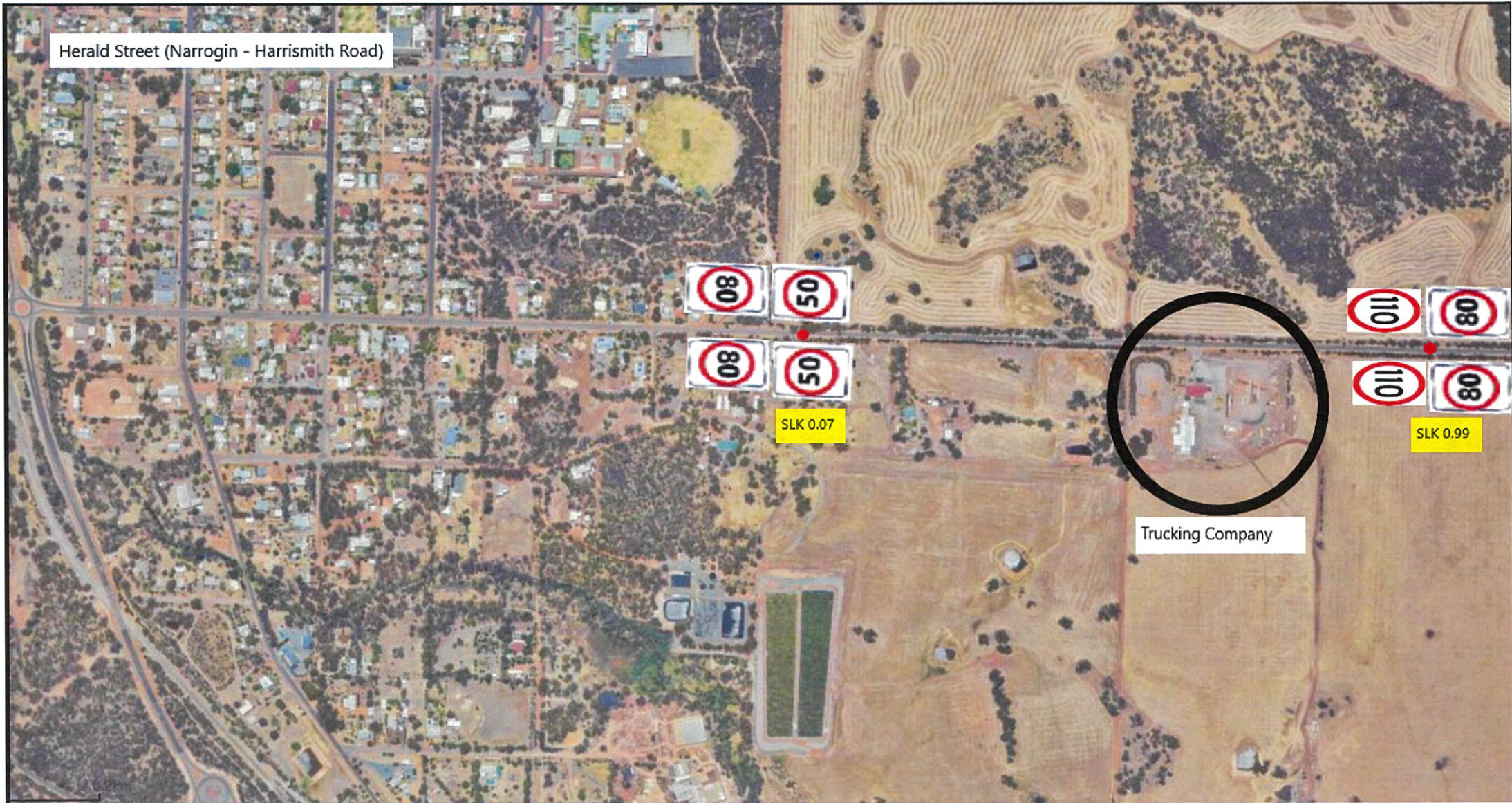


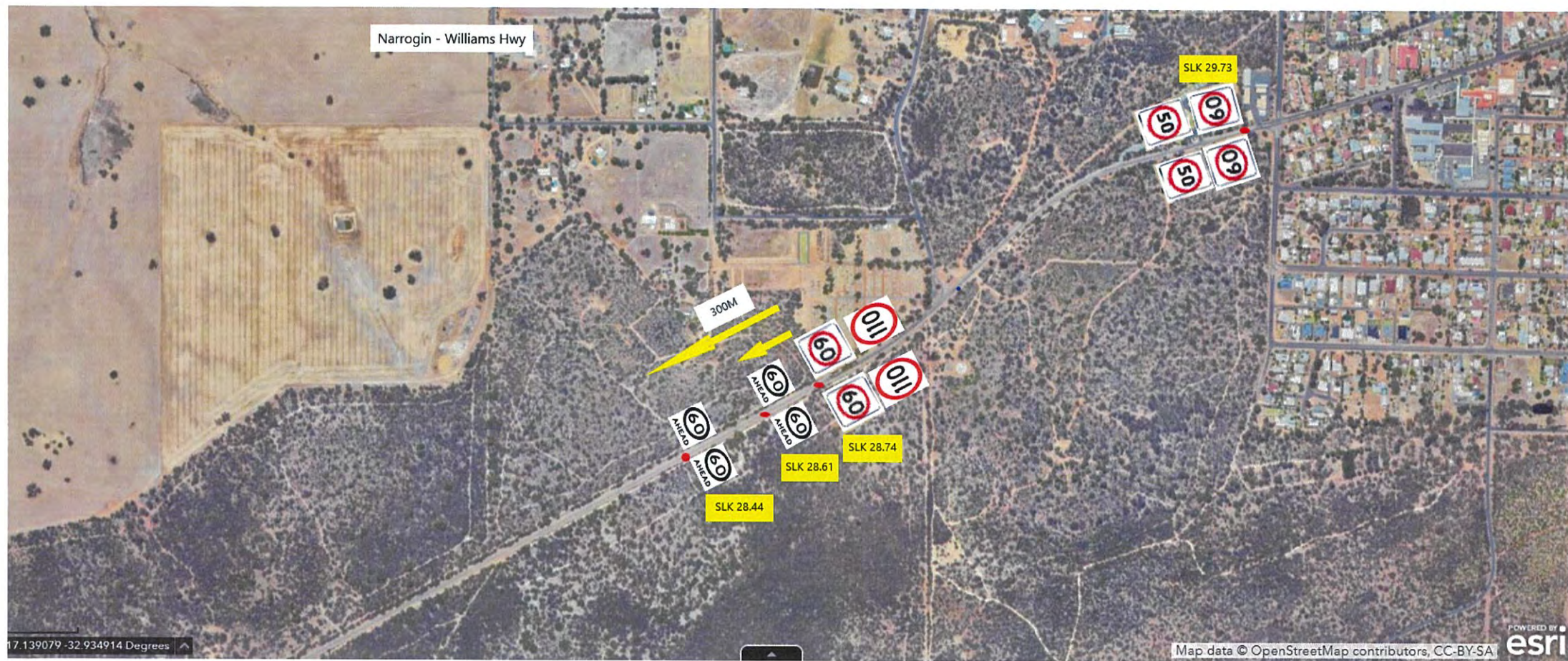
Northam Cranbrook Rd (South Narrogin)



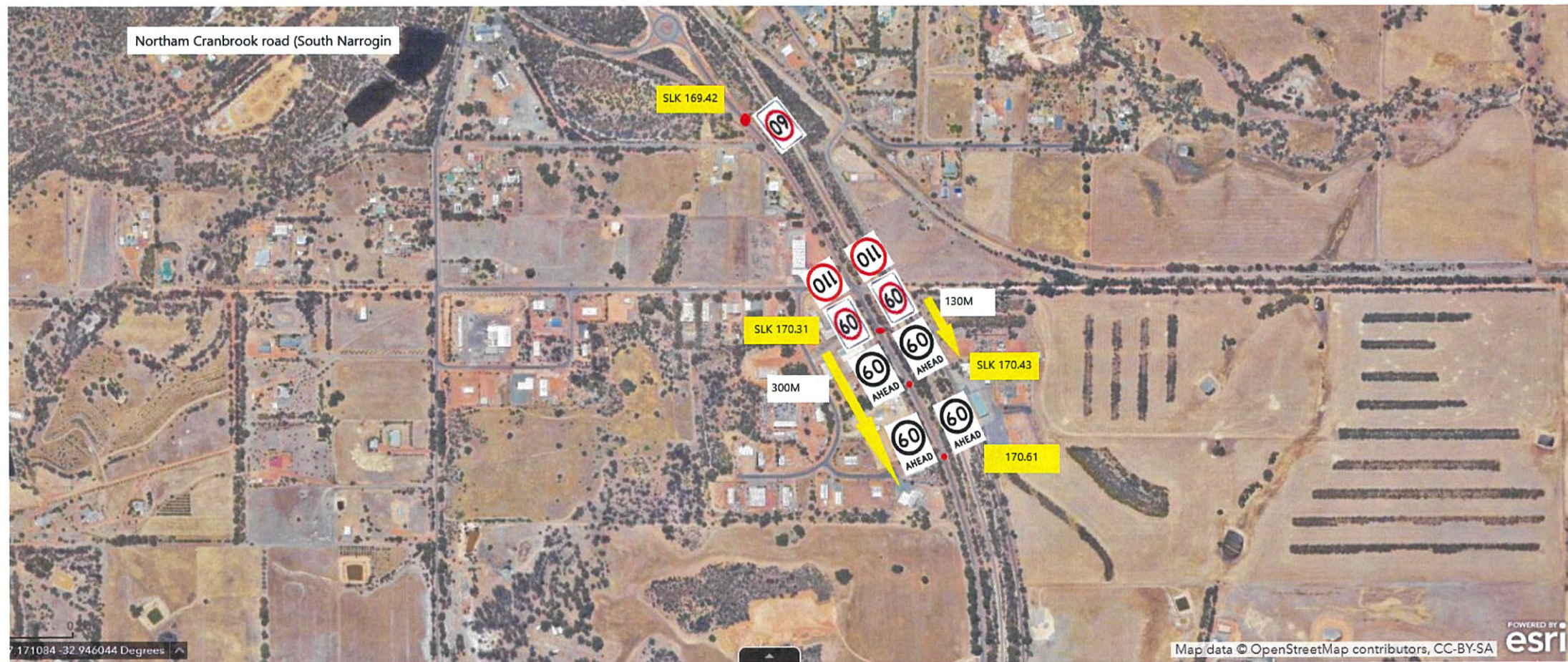


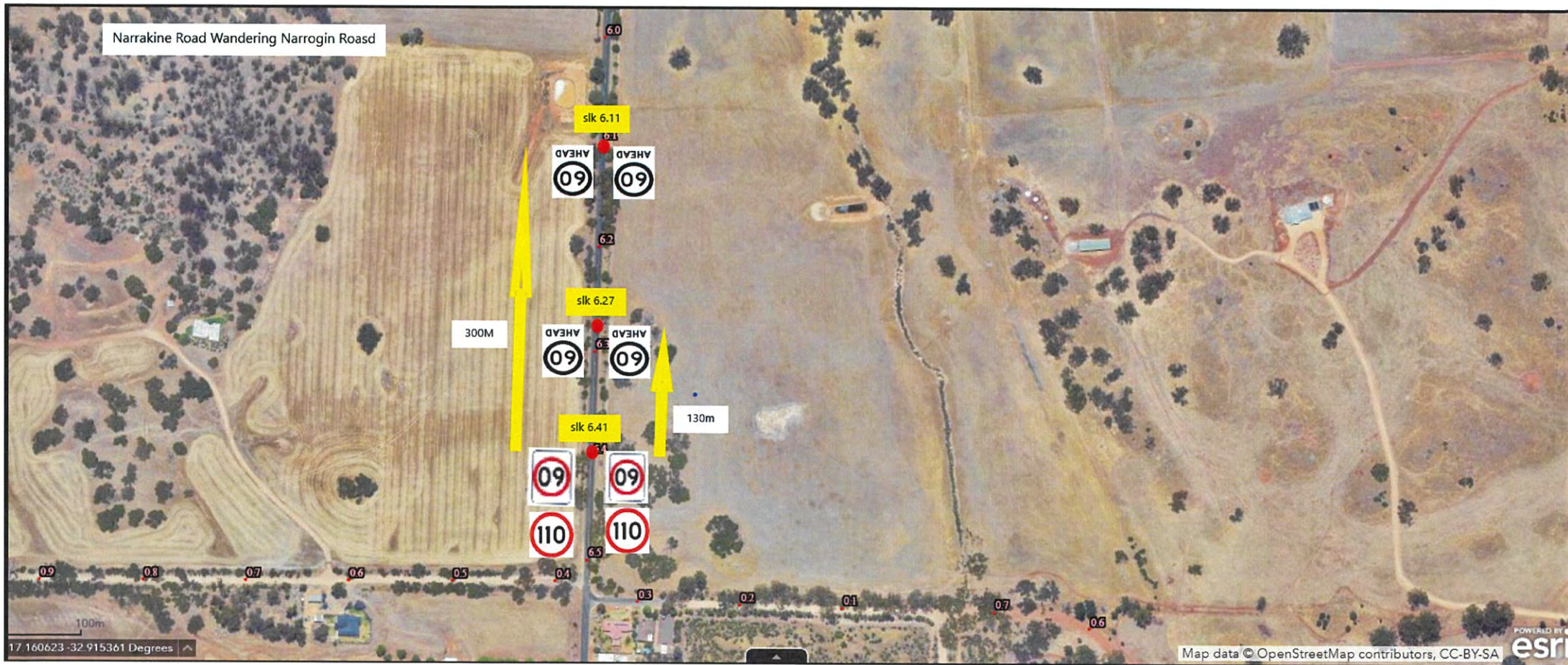












10.2.2 NARROGIN AIRPORT DBCA WATER BOMBER HARDSTAND APPLICATION

File Reference	14.9.75
Disclosure of Interest	Neither the Author nor Authorising Officer have any Impartiality, Financial or Proximity Interests that requires disclosure.
Applicant	Department of Biodiversity, Conservation and Attractions
Previous Item Numbers	Nil
Date	31 May 2024
Author	Torre Evans – Executive Manager Technical & Rural Services
Authorising Officer	Dale Stewart – Chief Executive Officer
Attachments 1. DBCA Letter of Application 2. Narrogin Airport Master Plan – Future Development	

Summary

Council is requested to consider two recommendations from the Airport Advisory Committee generated from its meeting 30 May 2024.

At that meeting, the Committee was requested to discuss and applications from the Department of Biodiversity, Conservation and Attractions (DBCA) for the construction of a purpose-built water bomber aircraft stand to park two water bomber aircraft for emergency firefighting in Narrogin and the surrounding region, see attachment 1.

The Committee also discussed, an offer from the Narrogin Gliding Club to supply and install a shade structure near the water bomber water storage tanks for use by water bomber refill personnel and Gliding Club patrons.

Background

The Administration received written correspondence from DBCA (see attachment 1) seeking Council approval to build an asphalt hard stand for the purpose of parking water bomber aircraft for regional emergency fire fighting. The author referred the request to Council's Airport Advisory Committee in the first instance for discussion and recommendation to Council for resolution.

Consultation

Consultation has been entered into with:

- Council's Airport Advisory Committee, consisting of:
 - Shire President Ballard (Chair Person);
 - Cr McNab;
 - Cr Fisher;
 - Narrogin Gliding Club;
 - Narrogin Flying Club; and
 - St John Ambulance WA.
- DBCA Acting Regional Manager Mitch Davies;
- Shire Chief Executive Officer; and
- Shire Manager of Operations.

Statutory Environment

The following statutory implications relate:

In relation to the application to construct a 50m x 50m asphalt hard stand for the parking of two water bomber aircraft, the Narrogin Airport is appropriately zoned for this purpose and the planned location as depicted in Attachment 1 is clear of native flora and fauna.

In relation to the proposal by the Narrogin Gliding Club to construct a shelter, this will be bound by the requirement to comply with the height and setback limitations of the Airport Master Plan and Civil Aviation Safety Authority Guidelines, as well as obtaining Shire Planning and Building approval.

Policy Implications

The Council's Policy Manual contains no policies that relate and nor are there any proposed.

The infrastructure proposed is not inconsistent with the Council's adopted Airport Master Plan.

Financial Implications

There is no cost for the Shire as the project will be fully funded by DCBA via grant funding should Council resolve to support the application.

The proposal from DBCA, shows costing estimates for the project provided by the Shire's Manager of Operations which are based on the Shire's current private work rates, should the Shire be available to assist with the works.

Giving consideration to the installation of the proposed shelter on the Shire's land, the Administration is of the view, that the structure will become the property and responsibility of the Shire of Narrogin, being that it is not on a leased area and is being constructed for the benefit of the broader community inclusive of DBCA and volunteers.

Both the shelter and the water bomber hard stand maintenance requirements will be incorporated into the Shire's Asset Management Plan.

Strategic Implications

Shire of Narrogin Strategic Community Plan 2017-2027	
Objective:	1. Economic Objective (Support growth and progress, locally and regionally)
Strategy:	1.3.2 Review and implement the Airport Master Plan
Objective:	2. Social Objective (To provide community facilities and promote social interaction)
Outcome:	2.2 Build a healthier and safer community
Strategy:	2.3.2 Engage and support community groups and volunteers

Risk Implications

Risk	Risk Likelihood	Risk Impact / Consequence	Risk Rating	Principal Risk Theme	Risk Action Plan (Controls or Treatment proposed)
Should Council resolve not to support the application, then this may reduce the effectiveness and response times of emergency aerial firefighting capabilities.	Unlikely (2)	Extreme (5)	High (10-16)	Management of Facilities, Venues, Events and Services	Accept Officer Recommendation as this would enhance aerial water bomber firefighting capabilities that may result in mitigating loss of life and property caused by fire. Additionally, there is no cost to Council.

Risk Matrix

Consequence		Insignificant	Minor	Moderate	Major	Catastrophic
Likelihood		1	2	3	4	5
Almost Certain	5	Medium (5)	High (10)	High (15)	Extreme (20)	Extreme (25)
Likely	4	Low (4)	Medium (8)	High (12)	High (16)	Extreme (20)
Possible	3	Low (3)	Medium (6)	Medium (9)	High (12)	High (15)
Unlikely	2	Low (2)	Low (4)	Medium (6)	Medium (8)	High (10)
Rare	1	Low (1)	Low (2)	Low (3)	Low (4)	Medium (5)

A risk is often specified in terms of an event or circumstance and the consequences that may flow from it. An effect may be positive, negative or a deviation from the expected and may be related to the following objectives; occupational health and safety, financial, service interruption, compliance, reputation and environment. A risk matrix has been prepared and a risk rating of 10 has been determined for this item. Any items with a risk rating over 10 or greater (considered to be high or extreme risk) will be added to the Risk Register, and any item with a risk rating of 16 or greater will require a specific risk treatment plan to be developed.

Comment/Conclusion

As already referred to, the Administration received a written application from DBCA for DBCA to construct a purpose-built asphalt hardstand for two water bomber aircraft to park at the Narrogin Airport, see attachment 1 that details the proposal and location.

The proposal was put to the Airport Committee at its meeting 30 May 2024 where the proposal was discussed. Mitch Davies from DCBA presented the proposal to the Committee and answered any questions that were raised. It was advised that any storm water runoff from the asphalt hardstand

would be diverted to the adjoining drain that leads to the new 5ML stormwater catchment dam. The Committee were in favour of the proposal and have recommended it to Council for resolution.

The Narrogin Gliding Club, who are represented on the Committee and in attendance offered to build, at their cost, a 3m x 10m shade shelter for bomber refill staff and Gliding Club patrons. The Committee also supported this proposal and has recommended this to Council for resolution.

The Council should consider supporting the proposal from the DCBA as this initiative presents significant benefits for Narrogin and the surrounding region, enhancing the local community's resilience and response capabilities in the face of increasing bushfire threats.

Firstly, improved aerial firefighting capability is crucial for effective emergency fire response. With the construction of a dedicated water bomber aircraft parking area, Narrogin Airport will be better equipped to host and dispatch firefighting aircraft quickly and efficiently. This enhancement will significantly reduce response times during bushfire emergencies, allowing for faster containment and mitigation of fires. The quicker the response, the less damage to property, natural resources, and potentially human lives. Given the increasing severity and frequency of bushfires due to climate change, such infrastructure is not just beneficial but essential.

Moreover, the presence of a purpose-built facility will position Narrogin as a strategic hub for firefighting operations in the region. This development may attract additional resources and expertise, fostering a stronger emergency management network. The community may potentially benefit from increased job opportunities, both directly related to the airport's operations and indirectly through supporting industries such as maintenance, logistics, and training. Additionally, the enhanced capability may lead to more frequent use of the airport, potentially attracting further investment and development in the local economy.

Furthermore, the improved firefighting infrastructure will provide a sense of security and preparedness among the residents of Narrogin and nearby areas. Knowing that there is a robust system in place to address fire emergencies can bolster community confidence and contribute to the overall well-being and stability of the region. This preparedness can also be a persuasive factor for new residents and businesses considering relocating to Narrogin, promoting growth and development.

In conclusion, supporting the DBCA's proposal is a strategic investment in the safety, economic stability, and future growth of the Narrogin region. The enhanced firefighting capabilities will not only protect lives and property but also foster community resilience and economic development. This proposal represents a proactive step towards ensuring the well-being and prosperity of Narrogin and its surrounding communities in the face of escalating bushfire risks.

Voting Requirements

Simple Majority for Parts 1 and 2.

OFFICERS' AND AIRPORT ADVISORY COMMITTEE RECOMMENDATION PART 1 OF 2

That with respect to proposal from the Department of Biodiversity, Conservation and Attractions (DBCA), to construct a 50m x 50m Fixed Wing Water Bomber Parking Area at the Narrogin Airport – as depicted in Attachment 1, Council support the proposal pending DBCA securing full funding to finance the project.

OFFICERS' AND AIRPORT ADVISORY COMMITTEE RECOMMENDATION PART 2 OF 2

That with respect to the proposal by the Narrogin Gliding Club to supply and install a shade structure, at their cost, approximately 3m wide by 10m in length for water bomber re-filler staff and Gliding Club patrons to sit, located next to the water storage tanks Council support the proposal on the following conditions:

1. The Narrogin Gliding Club consult with the Department of Biodiversity, Conservation and Attractions, with regard to exact location so as not to impede with refilling operations; and
2. The Narrogin Gliding Club consult with the Shire prior to construction, as to the height and exact location of the shelter and dependant on the structure, a planning approval and/or a building permit may be required.



Department of **Biodiversity,
Conservation and Attractions**



Your ref:
Our ref:
Enquiries: Mitchell Davies
Phone: 08 9881 9200
Email: Mitchell.Davies@dbca.wa.gov.au

Mr Dale Stewart
Chief Executive Officer
Shire of Narrogin
PO Box 485
NARROGIN WA 6312

Dear Dale

Proposed Fixed Wing Water Bomber Parking Area - Narrogin Airfield

Background:

In response to a formal request from DFES, fixed wing water bombers have been based at Narrogin Airfield for the last three years as a part of the Grain Harvest operation. Each year, two AirTractor 802 Water Bombers, one fixed wing Air Attack platform and a Water Bomber support truck have been based at the airfield for approximately 4 – 6 weeks each whilst harvesting operations are in full swing. Although the funding is allocated on an annual basis, DFES believes this arrangement will continue for the foreseeable future, utilising the same bases each year.

Narrogin is considered a critical strip for hosting of the Grain Harvest water bombers. It is geographically located in the centre of the Upper Great Southern, has accommodation and meal providers to support the air crew as well as having a local DBCA and DFES regional offices that provide SAR and other support.

Last season, it was reported by the water bomber pilots that the amount of clearance between the runway markers and the perimeter fence for their aircraft was minimal, resulting in the wing tips of the aircraft almost intruding into the taxiway area. This was raised as a safety concern, as the potential for a wing tip collision could exist when other larger aircraft (such as the RFDS aircraft) were using the airfield under low light conditions.

Other alternative parking areas were assessed as being unsuitable for the water bombers as it meant they were away from their water source as well as being problematic for the adjoining glider hangars due to the high volumes of prop wash and dust created by the water bombers when taxiing.

In addition to the limited parking for the aircraft, there is minimal room for the support truck and Air Attack platform to park, as well as no-where to store aviation fuel other than at the other end of the airfield. Ideally, all of the Water Bomber team (aircraft, support truck and fuel cache) should be located together in a single, separate area to other existing airfield users.

Proposal:

Following discussion with the pilots, DBCA is proposing that a sealed parking / laydown area be installed next to the existing water tank. The laydown area would be to the right of the existing water tank and would utilise 20 metres of existing airstrip apron. An additional 30 metres of area would be required behind the existing fence to allow a total area of the parking to be 50 by 50 metres.

See map below.

This area will serve the following purpose:

- Parking area for 2 Water Bomber aircraft away from the taxiway
- Parking area for the fixed wing Air Attack platform
- Parking area for the Water Bomber support truck

In addition, there will be enough room for DBCA to place a sea container on site, allowing storage of aviation fuels and other fire consumables, as well as the portable fire-retardant mixing and deployment set up if it was to be forward based for any significant incidents in the region.



Scope of Works and Costings:

The proposed area of the final hard stand would have an asphalt surface that would provide a good amount of rainfall runoff into the newly constructed dam. The outline of the costs detailed below are based on an estimate only and assume the Shire of Narrogin will be completing the works and directly engaging specialised contractors.

DBCA understand the Shire may need to revise the estimate dependent on when funding for the project is available. DBCA also understands that the Shire would need to program in this project against other committed priority works projects and there is no guarantee that the Shire would be able to facilitate the project in the time frame required by DBCA.

An outline of the works required and associated costs are as follows:

- 3000m² of primer seal. \$18k
- 3000m² of 10mm asphalt @40mm thick \$105k
- 4,000m² of topsoil removal and subgrade prep. \$8.5k
- Import 1000m³ of basecourse, lay and compact \$79k
- Total Estimate \$210.5k
- Contingency @ 10%.
- Final Estimate \$231.5k

It is anticipated the total cost of the project would be approximately \$231 500.00 and costs would be shared between DBCA and DFES. Whilst funds are not readily available once the project receives approval then DBCA will seek the funds required.

Recommendation:

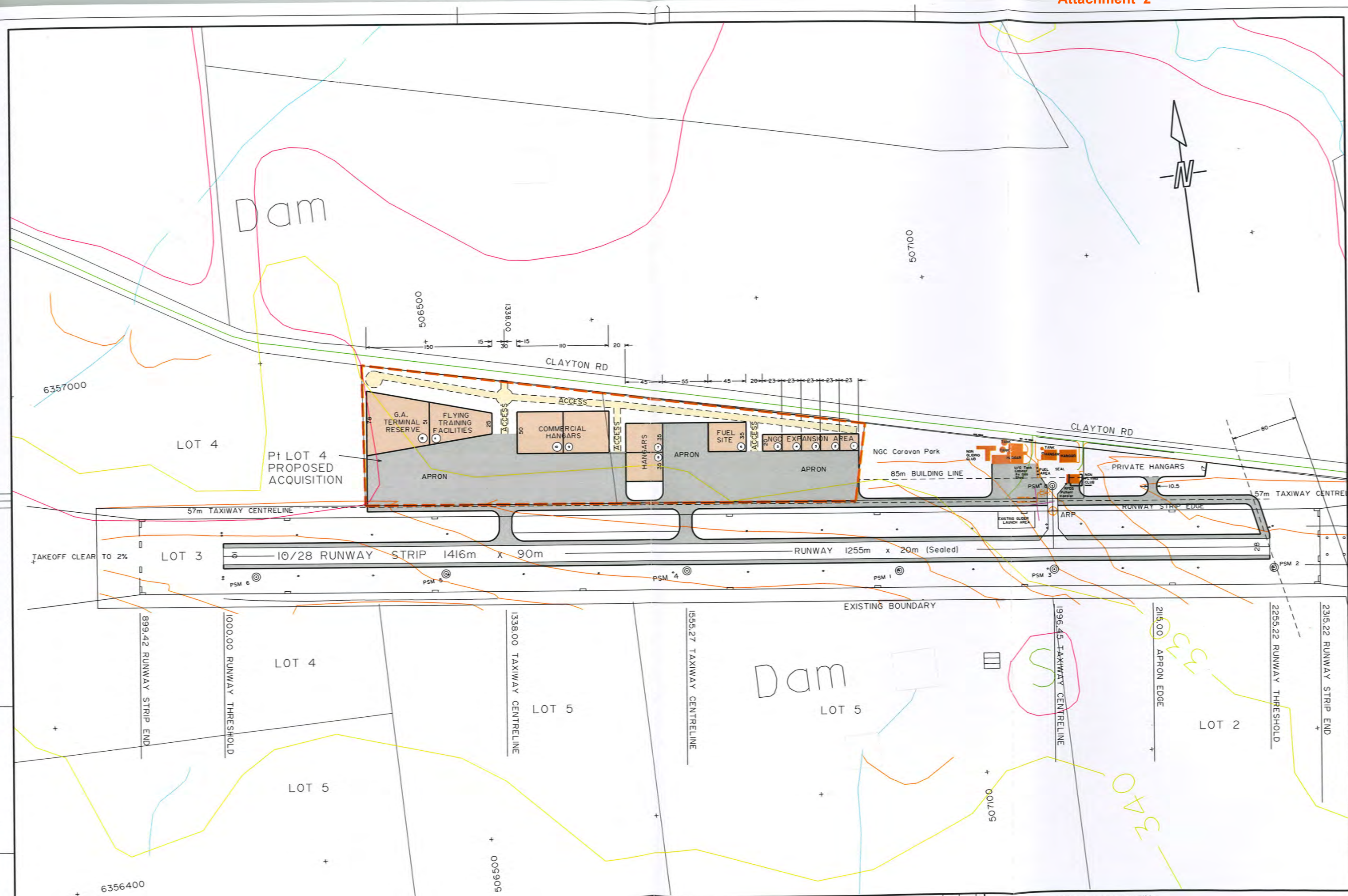
DBCA requests that the Shire of Narrogin considers its proposal to establish a new water bomber parking area and facilitate tabling with the Airport Committee for support. DBCA would be available to address the committee to outline our proposal.

Regards,

A handwritten signature in black ink, appearing to read 'Maria Lee', with a stylized, cursive script.

Maria Lee
Acting Regional Manager

6 May 2024



10.3 CORPORATE AND COMMUNITY SERVICES

10.3.1 SCHEDULE OF ACCOUNTS PAID – MAY 2024

File Reference	12.1.1
Disclosure of Interest	Neither the Author nor Authorising Officer have any Impartiality, Financial or Proximity Interest that requires disclosure.
Applicant	Nil
Previous Item Numbers	Nil
Date	17 June 2024
Author	Therese Walker – Manager Corporate Services
Authorising Officer	Mark Furr – Executive Manager Corporate & Community Services
Attachments 1. Schedule of Accounts Paid – May 2024	

Summary

Council is requested to note the payments as presented in the Schedule of Accounts Paid for May 2024.

Background

Pursuant to Local Government Act 1995, Section 6.8 (2)(b), where expenditure has been incurred by a local government, it is to be reported to the next Ordinary Meeting of Council.

Consultation

Consultation has been undertaken with the Executive Manager Corporate and Community Services and Finance Officer - Creditors.

Statutory Environment

Local Government Act 1995, Section 6.8 (2)(b) and Local Government (Financial Management) Regulations 1996, clause 13 relates.

Policy Implications

The Council's Policy Manual contains no policies that relate and nor are there any proposed.

Financial Implications

All expenditure has been approved via adoption of the 2023/24 Annual Budget or resulting from a Council resolution.

Strategic Implications

Shire of Narrogin Strategic Community Plan 2017-2027		
Objective	4.	Civic Leadership Objective (Continually enhance the Shire's organisational capacity to service the needs of a growing community)
Outcome:	4.1	An efficient and effective organisation

Risk Implications

Risk	Risk Likelihood	Risk Impact / Consequence	Risk Rating	Principal Risk Theme	Risk Action Plan (Controls or Treatment proposed)
Failure to present a detailed listing of payments in the prescribed form would result in non-compliance with the Local Government (Financial Management) Regulations 1996, clause 13, which may result in a qualified audit.	Rare (1)	Minor (2)	Low (1-4)	Compliance Requirements	Accept Officer Recommendation

Risk Matrix

Consequence		Insignificant	Minor	Moderate	Major	Catastrophic
Likelihood		1	2	3	4	5
Almost Certain	5	Medium (5)	High (10)	High (15)	Extreme (20)	Extreme (25)
Likely	4	Low (4)	Medium (8)	High (12)	High (16)	Extreme (20)
Possible	3	Low (3)	Medium (6)	Medium (9)	High (12)	High (15)
Unlikely	2	Low (2)	Low (4)	Medium (6)	Medium (8)	High (10)
Rare	1	Low (1)	Low (2)	Low (3)	Low (4)	Medium (5)

A risk is often specified in terms of an event or circumstance and the consequences that may flow from it. An effect may be positive, negative or a deviation from the expected and may be related to the following objectives: work health and safety, financial, service interruption, compliance, reputation and environment. A risk matrix has been prepared and a risk rating of two (2) has been determined for this item. Any items with a risk rating of 10 or greater (considered to be high or extreme risk) will be added to the Risk Register, and any item with a risk rating of 16 or greater will require a specific risk treatment plan to be developed.

Comment/Conclusion

The Schedule of Accounts Paid for May 2024 is presented to Council for notation.

Below is a summary of activity:

As at 31 May 2024 Payments			Regional Payments	\$	%
Payment Type	\$	%	Non-Local/Statutory	532,230.61	54.88
Cheque	942.55	0.10	Local Suppliers	86,281.01	8.90
EFT (incl. Payroll)	816,197.93	84.17	Payroll	351,241.54	36.22
Direct Debit	130,261.86	13.43	Total	969,753.16	100.00
Credit Card	14,156.84	1.46			
Fuel Card	7,002.36	0.12			
Store Cards	1,191.62	0.72			
Total Payments	969,753.16	100.00			

Voting Requirements

Simple Majority

OFFICERS' RECOMMENDATION

That with respect to the Schedule of Accounts Paid for May 2024, Council note the Report as presented.

Accounts Paid May 2024

Accounts Paid -May 2024

Cheque Payments

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
1	750	16/05/2024	Shire Of Narrogin - Petty Cash-admin			672.55		R
2	INV HC PETTYCASH-24	12/03/2024	Shire Of Narrogin - Petty Cash-admin	HEMOCARE PETTY CASH - Various Items	672.55			
3	751	23/05/2024	Shire Of Narrogin - Petty Cash-admin			270		R
4	INV CATS - APR24	22/05/2024	Shire Of Narrogin - Petty Cash-admin	AGEDOTHER - CATS DRIVER MEALS - Drivers Lunch April 2024	270			
					Cheque Total \$	942.55		

EFT Payments

5		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
6	EFT23004	01/05/2024	Easifleet			3,764.70		
7	INV 24042024	30/04/2024	Easifleet	VARIOUS EMPLOYEES - Novated Lease PPE22/04/2024	3,764.70			
8	EFT23006	08/05/2024	Synergy			2,198.34		PR
9	INV 2010063258	14/02/2024	Synergy	SHOP 1 84 FEDERAL STREET (OLD JEWELLERS) - Electricity Charges 07/12/23 - 07/02/24	138.04			
10	INV 2050098515	15/04/2024	Synergy	LIBRARY BUILDING OPERATIONS - Electricity Charges 12/02/24 - 02/03/24	332.30			
11	INV 2082080287	19/04/2024	Synergy	30 GRAY ST BUILDING OPERATIONS - Electricity Charges 16/02/24 - 18/04/24	144.12			
12	INV 2002160277	24/04/2024	Synergy	COMMUNITY GARDEN MAINTENANCE/OPERATIONS - Electricity Charges 16/02/24 - 22/04/24	261.32			
13	INV 2058096639	24/04/2024	Synergy	ROADM - STREET LIGHTING MAINTENANCE/OPERATIONS - Electricity Charges 16/02/24 - 22/04/24	707.20			
14	INV 2054093417	24/04/2024	Synergy	FAIRWAY DEPOT BUILDING OPERATIONS - Electricity Charges 16/02/24 - 22/04/24	149.30			
15	INV 2046104661	30/04/2024	Synergy	LIONS PARK MAINTENANCE/OPERATIONS - Electricity Charges 07/02/24 - 09/04/24	129.72			
16	INV 208107695	30/04/2024	Synergy	HIGHBURY HALL BUILDING OPERATIONS - Electricity Charges 23/02/24 - 23/04/24	336.34			
17	EFT23007	08/05/2024	Narrogin Packaging			514.69	L	PF
18	INV 00081357	05/07/2023	Narrogin Packaging	CHSP - GENERAL EXPENDITURE - Toilet Rolls & Interleave Towel	136.35			
19	INV 00086350	24/02/2024	Narrogin Packaging	LIB - GENERAL OFFIC EXPENSES - 1 Carton of Papertowel	82.35			
20	INV 00087258	18/04/2024	Narrogin Packaging	CHSP SOCIAL SUPPORT GROUP OTHER EXPENSES - Black Disposable Cups & Crimp Caps	113.15			
21	INV 00087341	18/04/2024	Narrogin Packaging	NRLC - GENERAL EXPENSES - Kiosk Stock	25.50			
22	INV 00087382	22/04/2024	Narrogin Packaging	NRLC - EQUIPMENT HIRE & PURCHASE - HP Coupling for Plantroom	28.04			
23	INV 00087473	29/04/2024	Narrogin Packaging	NRLC - CLEANING & WASTE DISPOSAL - Cleaning Equipment	129.30			

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
24	EFT23008	08/05/2024	Great Southern Fuels			8,221.95	L	PF
25	INV 15012400	21/03/2024	Great Southern Fuels	CHSP - GENERAL EXPENDITURE - New Fuel Card	2.75			
26	INV 19016681	22/04/2024	Great Southern Fuels	SIMMONS ROAD - Kerosene For Primer Seals	8,219.20			
27	EFT23009	08/05/2024	Water Corporation			1,825.54		PR
28	INV 9007721573	09/04/2024	Water Corporation	MAY ST PUBLIC TOILETS OPERATIONS - Water Charges 06/02/24 - 08/04/24	934.36			
29	INV 9007731261	15/04/2024	Water Corporation	COMMUNITY GARDEN MAINTENANCE/OPERATIONS - Water Charges 09/02/24 - 12/04/24	891.18			
30	EFT23010	08/05/2024	St John Ambulance Western Australia Ltd			170.00		
31	INV FAINV01166463	22/02/2024	St John Ambulance Western Australia Ltd	FIRST AID TRAINING - Planning Officer	170.00			
32	EFT23011	08/05/2024	Makit Narrogin Hardware			2,629.00	L	
33	INV 115771	13/02/2024	Makit Narrogin Hardware	VARIOUS LOCATIONS - Maintenance Supplies	789.80			
34	INV 115779	19/02/2024	Makit Narrogin Hardware	VARIOUS LOCATIONS - Maintenance Supplies	291.50			
35	INV 115819	08/03/2024	Makit Narrogin Hardware	VARIOUS LOCATIONS - Maintenance Supplies	1,041.10			
36	INV 115840	15/03/2024	Makit Narrogin Hardware	VARIOUS LOCATIONS - Maintenance Supplies	506.60			
37	EFT23012	08/05/2024	Hancocks Home Hardware			20.00	L	
38	INV 475599	26/04/2024	Hancocks Home Hardware	NRLC - CLEANING & WASTE DISPOSAL - Vacuum Filter	20.00			
39	EFT23013	08/05/2024	Landgate			74.15		
40	INV 392662	23/04/2024	Landgate	RATES - VALUATION EXPENSES - Gross Rental Valuation	74.15			
41	EFT23014	08/05/2024	Susan Farrell			150.00	L	
42	INV 050	01/03/2024	Susan Farrell	MEMBERS - CIVIC FUNCTIONS, REFRESHMENTS & RECEPTIONS - Laundry Services March 2024	100.00			

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	Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
	27/03/2024	Susan Farrell	MEMBERS - CIVIC FUNCTIONS, REFRESHMENTS & RECEPTIONS - Laundry Services April 2024	50.00			
	08/05/2024	Narrogin Electrical Services			4,007.00	L	
	15/10/0023	Narrogin Electrical Services	TOWN HALL (FEDERAL ST) BUILDING MAINTENANCE - Replacement of Globes	187.00			
	15/12/2023	Narrogin Electrical Services	MACKIE PARK MAINTENANCE/OPERATIONS - Restore Power to Tree For Christmas Lights	110.00			
	08/04/2024	Narrogin Electrical Services	FIT OUT OF NEW CHALETS AT CARAVAN PARK - Fit in New Power Circuits	1,210.00			
	08/04/2024	Narrogin Electrical Services	RAILWAY STATION BUILDING MAINTENANCE - Fit New Air Conditioner	2,500.00			
	08/05/2024	Borgas Engineering Pty Ltd			3,547.50	L	F
	25/04/2024	Borgas Engineering Pty Ltd	MANARING ROAD BRIDGE - Crane Hire	3,547.50			
	08/05/2024	Allans Bobcat And Truck Hire			1,760.00	L	R
	24/03/2024	Allans Bobcat And Truck Hire	CEMETERY GRAVE DIGGING - Grave Digs	1,760.00			
	08/05/2024	RJ Smith Engineering			236.90		
	18/04/2024	RJ Smith Engineering	LYDEKER DEPOT BUILDING MAINTENANCE - 2x Square Hollow Section Steel & 22x Caps	236.90			
	08/05/2024	PFD Food Services Pty Ltd			373.50		R
	23/04/2024	PFD Food Services Pty Ltd	NRLC - GENERAL KIOSK SUPPLIES - Kiosk Stock	198.80			
	24/04/2024	PFD Food Services Pty Ltd	NRLC - GENERAL KIOSK SUPPLIES - Kiosk Stock	174.70			
	08/05/2024	Octave Holdings Pty Ltd T/as Narrogin Toyota, Mazda & Ford			78.43		
	23/04/2024	Octave Holdings Pty Ltd T/as Narrogin Toyota, Mazda & Ford	PARKS & GARDENS MAINTENANCE - Orange Nylon Line	78.43			
	08/05/2024	Country Paint Supplies			104.80	L	
	30/04/2024	Country Paint Supplies	CARAVAN PARK GENERAL MAINTENANCE/OPERATIONS - Paint & Supplies	104.80			
	08/05/2024	Narrogin Gasworx			1,115.00	L	F
	23/04/2024	Narrogin Gasworx	CHCP - CLIENT PURCHASES - Swivel, Adjustable Chair & Universal Bed Stick Return	1,115.00			
	08/05/2024	Narrogin Panel Beating Service			750.00	L	

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	Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
	16/04/2024	Narrogin Panel Beating Service	ISUZU D-MAX SINGLE CAB - Repairs to Vehicle	750.00			
	08/05/2024	New Security Installations Pty Ltd			434.72		
	30/04/2024	New Security Installations Pty Ltd	NRLC - SECURITY - Alarm Monitoring	434.72			
	08/05/2024	Narrogin Chamber Of Commerce			1,000.00	L	
	08/04/2024	Narrogin Chamber Of Commerce	PUBLIC RELATIONS & AREA PROMOTION - Caravan Park - 100 x \$10 Gift Vouchers	1,000.00			
	08/05/2024	Department of Mines, Industry Regulation and Safety			497.90		
	01/03/2024	Department of Mines, Industry Regulation and Safety	BSL LEVY - PAYMENTS - March 2024	497.90			
	08/05/2024	Narrogin Quarry Operations			3,850.77	L	
	13/03/2024	Narrogin Quarry Operations	CONSTRUCTION OF DAM AT AIRPORT - 290T Crusher Dust	3,850.77			
	08/05/2024	Truck Centre (WA) Pty Ltd			1,583.31		
	29/04/2024	Truck Centre (WA) Pty Ltd	NO3 2020 NISSAN UD TIP TRUCK - Air Tank & Mounting Bracket	1,583.31			
	08/05/2024	Jcb Construction Equipment Australia			506.01		
	24/04/2024	Jcb Construction Equipment Australia	2019 JCB 5CX BACKHOE LOADER - Supply Service Filters Fuel , Oil & Air	506.01			
	08/05/2024	O'Rourke Electric Services			577.50		F
	16/04/2024	O'Rourke Electric Services	CHCP - CLIENT PURCHASES - Power Outlet	577.50			
	08/05/2024	Narrogin Tyrepower			44.00	L	
	23/04/2024	Narrogin Tyrepower	NO686 CAT SKID STEER LOADER - Tractor Repairs	44.00			
	08/05/2024	Narrogin Auto Centre			315.03	L	F
	14/11/2023	Narrogin Auto Centre	NGN219 NISSAN X-TRAIL - Service Homecare Vehicle	315.03			
	08/05/2024	Playmaster Pty Ltd			2,142.80		
	29/04/2024	Playmaster Pty Ltd	PARKS & GARDENS MAINTENANCE - Park Slide , Parts and Freight Charges	2,142.80			
	08/05/2024	Elgas			14,392.48		
	24/04/2024	Elgas	NRLC - UTILITY - GAS - Gas Supplied 8,692L	14,392.48			
	08/05/2024	Surgical House Pty Ltd			305.80		F
	23/04/2024	Surgical House Pty Ltd	CHCP -CLIENT PURCHASES - Continence Aid	305.80			
	08/05/2024	Narrogin & Districts Plumbing Service			495.00	L	
	21/04/2024	Narrogin & Districts Plumbing Service	39 FEDERAL ST BUILDING MAINTENANCE - Inspect all Plumbing Fixtures on Ground Level , Replace Sink Taps	495.00			

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
92	EFT23037	08/05/2024	Epic Fire Solutions T/As MCG Fire Services			891.00		
93	INV INV-3727	24/04/2024	Epic Fire Solutions T/As MCG Fire Services	NRLC - BUILDING MAINTENANCE - Monthly EVAC Panel Service	203.50			
94	INV INV-3725	24/04/2024	Epic Fire Solutions T/As MCG Fire Services	TOWN HALL (FEDERAL ST) BUILDING MAINTENANCE - FDAS 12 Monthly Service	687.50			
95	EFT23038	08/05/2024	Edwards Isuzu Ute			16,287.40	L	
96	INV T-7115	21/02/2024	Edwards Isuzu Ute	NGN417 MAZDA - Trade Existing Maxda BT50 & Purchase New Isuzu DMax Space Cab	16,287.40			
97	EFT23039	08/05/2024	Lite n' Easy Pty Ltd			460.58		F
98	INV 7400766	09/04/2024	Lite n' Easy Pty Ltd	CHCP -CLIENT PURCHASES - Lite n Easy Meals	153.05			
99	INV 7430680	16/04/2024	Lite n' Easy Pty Ltd	CHCP -CLIENT PURCHASES - Lite n Easy Meals	155.88			
100	INV 7389513	16/04/2024	Lite n' Easy Pty Ltd	CHCP -CLIENT PURCHASES - Lite n Easy Meals	151.65			
101	EFT23040	08/05/2024	CRISP Wireless			10,057.05	L	
102	INV INV-18573	16/04/2024	CRISP Wireless	TOWN HALL BUILDING MAINTENANCE - Replace Cameras	10,057.05			
103	EFT23041	08/05/2024	Keeling Electrical Group Pty Ltd			8,190.96	L	
104	INV 1571	30/04/2024	Keeling Electrical Group Pty Ltd	CAFE 45 FEDERAL ST BUILDING MAINTENANCE - New Electrical Works to Entire Upstairs of Premises	8,190.96			
105	EFT23042	08/05/2024	CSSTech Pty Ltd			839.05		
106	INV I0003396	21/04/2024	CSSTech Pty Ltd	ADMIN - TELEPHONE / MOBILES - Purchase of Samsung & Accessories Freight Included	839.05			
107	EFT23043	08/05/2024	Goodyear Auto Care Narrogin			35.00	L	F
108	INV 102780	10/04/2024	Goodyear Auto Care Narrogin	NGN13362 2016 TRAILER - Tyre Puncture Repair - Homecare Vehicle	35.00			F
109	EFT23044	08/05/2024	Ingal Civil Products			4,030.40		F
110	INV 7090339	18/04/2024	Ingal Civil Products	MANARING ROAD BRIDGE - Guard Railing Materials	3,810.40			
111	INV 7090356	18/04/2024	Ingal Civil Products	MANARING ROAD BRIDGE - Freight Charges	220.00			

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
112	EFT23045	08/05/2024	Narrogin Fruit Trading Pty Ltd			1,300.86	L	
113	INV INV-0883	30/04/2024	Narrogin Fruit Trading Pty Ltd	MEMBERS - CIVIC FUNCTIONS, REFRESHMENTS & RECEPTIONS - Elected Members Shire Tour Catering	475.86			
114	INV INV-0881	30/04/2024	Narrogin Fruit Trading Pty Ltd	OTHCUL - ANZAC DAY - ANZAC Day 2024 Catering	825.00			
115	EFT23046	08/05/2024	Borrell Rafferty Associates Pty Ltd			1,650.00		G
116	INV 24113	07/05/2024	Borrell Rafferty Associates Pty Ltd	SES TRAINING / MEETING ROOM - Professional Fee for Joint Emergency Facilities for LGGS	1,650.00			
117	EFT23047	08/05/2024	Team Global Express Pty Ltd			535.97		PF
118	INV 0615-T740710	25/02/2024	Team Global Express Pty Ltd	VARIOUS DEPARTMENTS - Freight Charges	148.47			
119	INV 0616-T7740710	05/03/2024	Team Global Express Pty Ltd	VARIOUS DEPARTMENTS - Freight Charges	80.83			
120	INV 0618-T740710	31/03/2024	Team Global Express Pty Ltd	VARIOUS DEPARTMENTS - Freight Charges	306.67			
121	EFT23048	08/05/2024	Quest Innaloo			830.00		
122	INV 830564	30/04/2024	Quest Innaloo	ADMIN - TRAINING & DEVELOPMENT - DOT Training Accommodation x5 Nights	830.00			
123	EFT23049	08/05/2024	Harcher Distributors (Wa Distributors P/L)			439.10		R
124	INV 952322	23/04/2024	Harcher Distributors (Wa Distributors P/L)	NRLC - GENERAL KIOSK SUPPLIES - Kiosk Stock	439.10			
125	EFT23050	08/05/2024	Flowers in the Valley			110.00		
126	INV INV-2080	24/04/2024	Flowers in the Valley	MEMBERS - CIVIC FUNCTIONS, REFRESHMENTS & RECEPTIONS - Wreaths Anzac Day Service	110.00			
127	EFT23051	08/05/2024	Perfect Gym Solutions			770.00		
128	INV INV-10413	01/05/2024	Perfect Gym Solutions	NRLC - LICENCES & SUBSCRIPTIONS - Month Package May 2024	770.00			
129	EFT23052	08/05/2024	Coca Cola Euro Pacific			831.26		R
130	INV 233901088	24/04/2024	Coca Cola Euro Pacific	NRLC - GENERAL KIOSK SUPPLIES - Drink Stock	831.26			
131	EFT23053	08/05/2024	Centigrade Services Pty Ltd			3,330.80		
132	INV 418873	31/03/2024	Centigrade Services Pty Ltd	NRLC - EQUIPMENT HIRE & PURCHASE - Pulleys And Belts	3,330.80			
133	EFT23054	08/05/2024	Officeworks Ltd			818.19		
134	INV 613862298	17/04/2024	Officeworks Ltd	NRLC - EQUIPMENT HIRE & PURCHASE- UHF radio	576.63			

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
135	INV 613974856	24/04/2024	Officeworks Ltd	NRLC - CLEANING & WASTE DISPOSAL - Cleaning Products	241.56			
136	EFT23055	08/05/2024	Gumnut Gully Crafts			104.55		R
137	INV 060524	06/05/2024	Gumnut Gully Crafts	DCVC - SALES - Goods Sold on Consignment	104.55			
138	EFT23056	08/05/2024	Data Signs Pty Ltd			242.00		F
139	INV 00008164	07/02/2024	Data Signs Pty Ltd	MANARING ROAD BRIDGE - Portable Traffic LightsReversal	- 6,765.00			
140	INV 00008164	07/02/2024	Data Signs Pty Ltd	MANARING ROAD BRIDGE - Portable Traffic Lights	7,007.00			
141	EFT23057	08/05/2024	Omnicom Media Group Australia Pty Ltd			499.18		
142	INV 1735151	22/04/2024	Omnicom Media Group Australia Pty Ltd	ADVERTISING - Local Planning Policy - Wind Farms/Turbines	499.18			
143	EFT23058	08/05/2024	Western Australian Police Force			17.00		
144	INV 127089501	14/02/2024	Western Australian Police Force	CHCP - RECRUITMENT - Volunteer National Police Check	17.00			
145	EFT23059	08/05/2024	Matthew John Knott			402.90		
146	INV 210324	21/03/2024	Matthew John Knott	NRLC - RECRUITMENT - Pre-employment Reimbursements	402.90			
147	EFT23060	08/05/2024	Albert Cheng Kwee Chan			1,710.17		
148	INV A216500	06/05/2024	Albert Cheng Kwee Chan	Rates refund for assessment A216500 1281 Granite Road NARROGIN WA 6312	1,710.17			
149	EFT23068	08/05/2024	Airport Alliance Contracting			6,418.50		
150	INV INV-3028	10/04/2024	Airport Alliance Contracting	AIRSTrip & GROUNDS MAINTENANCE/OPERATIONS - Supply & Deliver Radio Unit	6,418.50			
151	EFT23069	10/05/2024	Synergy			2,520.50		
152	INV 403301880	10/04/2024	Synergy	CARAVAN PARK GENERAL MAINTENANCE/OPERATIONS - Electricity Charges 13/03/24 - 09/04/24	2,048.66			
153	INV 2058097093	24/04/2024	Synergy	TOUR- VISITORS CENTRE BUILDING OPERATIONS - Electricity Charges 17/02/24 - 19/04/24	471.84			
154	EFT23070	10/05/2024	Narrogin Packaging			545.40		
155	INV 00087478	29/04/2024	Narrogin Packaging	CARAVAN PARK GENERAL MAINTENANCE/OPERATIONS - General Maintenance Materials	545.40			
156	EFT23071	10/05/2024	Australia Post			596.97		PF
157	INV 1013150357	03/04/2024	Australia Post	VARIOUS DEPARTMENTS - Postage Charges March 2024	242.52			

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	Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
	17/05/2024	Australia Post	VARIOUS DEPARTMENTS - Freight Charges April 2024	354.45			
159	10/05/2024	Water Corporation			54.68		
160	08/04/2024	Water Corporation	EMTRS STAFF HOUSING RENTAL PROPERTY EXPENSES - Water Charges 30/01/24 - 04/04/24	54.68			
161	10/05/2024	Landgate			2,533.00		
162	01/05/2024	Landgate	ADMIN - INFORMATION SYSTEMS - SLIP Subscription Services Renewal - Landgate Mapping Information & Imagery	2,533.00			
163	10/05/2024	Allworks Civil			2,420.00		
164	06/05/2024	Allworks Civil	ROAD MAINTENANCE GENERAL EXPENSES - Line Marking - School Zones & Bus Bays	2,420.00			
165	10/05/2024	Torre Tasman Evans			198.74		
166	16/04/2024	Torre Tasman Evans	EMTRS STAFF HOUSING RENTAL PROPERTY EXPENSES - Electricity Charges 07/02/24 - 11/04/24	198.74			
167	10/05/2024	Wren Oil			115.50		
168	22/04/2024	Wren Oil	SAN - WASTE RECYCLING - Admin and Compliance Fees for the Collections and Disposal of Oil Waste	115.50			
169	10/05/2024	Elgas			933.79		
170	22/04/2024	Elgas	CARAVAN PARK GENERAL MAINTENANCE/OPERATIONS - Gas Supplied 210KG	183.70			
171	24/04/2024	Elgas	CARAVAN PARK GENERAL MAINTENANCE/OPERATIONS - Gas Supplied 453L	750.09			
172	10/05/2024	New Cornwall Hotel			875.00	L	
173	02/05/2024	New Cornwall Hotel	MEMBERS - CIVIC FUNCTIONS, REFRESHMENTS & RECEPTIONS - Catering - MBS 13/03/24	420.00			
174	02/05/2024	New Cornwall Hotel	MEMBERS - CIVIC FUNCTIONS, REFRESHMENTS & RECEPTIONS - April Council Meeting	455.00			
175	10/05/2024	ASSA ABLOY Australia Pty Limited			256.82		
176	29/04/2024	ASSA ABLOY Australia Pty Limited	39 FEDERAL ST BUILDING MAINTENANCE - Rear Exit Door Lock and Metal Frame Strike TP	256.82			
177	10/05/2024	Narrogin Podiatry			71.50	L	F
178	30/04/2024	Narrogin Podiatry	CHCP -CLIENT PURCHASES - Standard Podiatry Consultation	71.50			
179	10/05/2024	AG & MF Borthwick			1,787.50		
180	09/05/2024	AG & MF Borthwick	ENVIRO - LANDCARE COMMUNITY PROJECTS - Reimbursement of Landcare Funding 22/23 Grant	1,787.50			

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
181	EFT23082	10/05/2024	Lite n' Easy Pty Ltd			226.37		F
182	INV 7441767	23/04/2024	Lite n' Easy Pty Ltd	CHCP - CLIENT PURCHASES - Lite n Easy Meals	73.32			
183	INV 7420451	23/04/2024	Lite n' Easy Pty Ltd	CHCP -CLIENT PURCHASES - Lite n Easy Meals	153.05			
184	EFT23083	10/05/2024	Samuel Isaac Kempton			180.00		
185	INV 090524	09/05/2024	Samuel Isaac Kempton	NRLC - RECRUITMENT - Pre-Employment Medical	180.00			
186	EFT23084	10/05/2024	Breeana Eyre			234.98		
187	INV 01052024	01/05/2024	Breeana Eyre	ADMIN - TRAINING & DEVELOPMENT - Food Cost for DOT Training	234.98			
188	EFT23093	15/05/2024	Department Of Human Services			1,051.33		
189	INV 69	08/05/2024	Department Of Human Services	Payroll Deductions/Contributions	128.98			
190	INV 69	08/05/2024	Department Of Human Services	Payroll Deductions/Contributions	922.35			
191	EFT23094	15/05/2024	Australian Services Union Western Australian Branc			26.50		
192	INV 69	08/05/2024	Australian Services Union Western Australian Branc	Payroll Deductions/Contributions	26.50			
193	EFT23102	16/05/2024	Narrogin Packaging			82.35	L	
194	INV 00086350	24/02/2024	Narrogin Packaging	LIB - GENERAL OFFIC EXPENSES - Papertowel	82.35			
195	EFT23103	16/05/2024	St John Ambulance Western Australia Ltd			182.97		
196	INV FAINV01158813	01/02/2024	St John Ambulance Western Australia Ltd	NRLC - FIRST AID SUPPLIES GEN - First Aid Kit Servicing	182.97			
197	EFT23104	16/05/2024	West Australian Newspapers Limited			1,100.00		
198	INV 1680480-1	31/10/2023	West Australian Newspapers Limited	ADVERTISING - Narrogin Narrative October 2023	1,100.00			
199	EFT23105	16/05/2024	Easifleet			3,764.70		
200	INV PPE06.05.24	15/05/2024	Easifleet	NOVATED LEASE - Various Employees	3,764.70			
201	EFT23106	16/05/2024	Keenan & Tania Wenning			1,386.67	L	
202	INV 031123	03/11/2023	Keenan & Tania Wenning	EMDRS STAFF HOUSING RENTAL PROPERTY EXPENSES - Rent & Internet 03/11/2023	1,386.67			
203	EFT23107	16/05/2024	Narrogin Fruit Trading Pty Ltd			462.00	L	
204	INV INV-0846	02/04/2024	Narrogin Fruit Trading Pty Ltd	MEMBERS - CIVIC FUNCTIONS, REFRESHMENTS & RECEPTIONS - Catering Council Meeting 27.03.2024	462.00			
205	EFT23108	16/05/2024	Uniforms At Work Australia Pty Ltd			70.15		
206	INV 37000009-2	07/12/2023	Uniforms At Work Australia Pty Ltd	LIB - ALLOWANCES - Uniforms	70.15			
207	EFT23109	16/05/2024	Narrogin Packaging			136.35	L	

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
208	INV 00087451	27/04/2024	Narrogin Packaging	LIB - GENERAL OFFICE EXPENSES - Paper Towel	136.35			
209	EFT23110	16/05/2024	Halanson Earthmoving			46,750.00		
210	INV 1985	13/05/2024	Halanson Earthmoving	VARIOUS DEPARTMENTS - Crush 5,000m3 of Gravel	46,750.00			
211	EFT23111	16/05/2024	Narrogin Earthmoving & Concrete Pty Ltd Atf The Mcnab Family Trust			1,749.00		
212	INV IV00000002896	08/05/2024	Narrogin Earthmoving & Concrete Pty Ltd Atf The Mcnab Family Trust	WHINBIN ROCK RD CONSTRUCTION - Float Hire	1,749.00			
213	EFT23112	16/05/2024	Kalinder Family Trust T/a Sports Power Narrogin			3,600.00		
214	INV 24-00003161	03/04/2024	Kalinder Family Trust T/a Sports Power Narrogin	TOUR - DRYANDRA VISITORS CENTRE MERCHANDISE - Supply 4x E-Scooters	3,600.00			
215	EFT23113	16/05/2024	Narrogin Nursery Cafe & Gallery			257.75	L	
216	INV 00003277	28/02/2024	Narrogin Nursery Cafe & Gallery	MEMBERS - CIVIC FUNCTIONS, REFRESHMENTS & RECEPTIONS - Citizenships - Feburary 2024	257.75			
217	EFT23114	16/05/2024	Judith Mcdougall			19,000.00		G
218	INV 2449	09/05/2024	Judith Mcdougall	GOOD SHED ROOF AND WALL RESTORATION - Documentation Complete For Tender	12,645.45			
219	INV 2449	09/05/2024	Judith Mcdougall	GOOD SHED ROOF AND WALL RESTORATION - Fire Engineering Solition	1,754.55			
220	INV 2449	09/05/2024	Judith Mcdougall	GOOD SHED ROOF AND WALL RESTORATION - Documentation Complete For Tender	4,600.00			
221	EFT23115	16/05/2024	Narrogin Bearing Service			89.59	L	
222	INV IN217462	04/05/2024	Narrogin Bearing Service	NO3 2020 NISSAN UD TIP TRUCK (WORKS) - Socket,12mm Hose and Assorted Airline Fittings	89.59			
223	EFT23116	16/05/2024	Octave Holdings Pty Ltd T/as Narrogin Toyota, Mazda & Ford			290.00		
224	INV JC24042331	09/05/2024	Octave Holdings Pty Ltd T/as Narrogin Toyota, Mazda & Ford	1NGN TOYOTA PRADO (CEO Vehicle) - Service	290.00			
225	EFT23117	16/05/2024	Bucher Municipal Pty Ltd - McDonald Johnston			567.40		
226	INV 1095035	30/04/2024	Bucher Municipal Pty Ltd - McDonald Johnston	NGN339 HINO ROAD SWEEPER 2021 - Drive Brush Plate	567.40			
227	EFT23118	16/05/2024	Country Paint Supplies			1,913.77	L	
228	INV 4801018879	29/04/2024	Country Paint Supplies	FIT OUT OF NEW CHALETs AT CARAVAN PARK - Paint for Toilets	1,913.77			
229	EFT23119	16/05/2024	Farmers Centre (Narrogin) Pty Ltd			203.23	L	
230	INV 91471	08/04/2024	Farmers Centre (Narrogin) Pty Ltd	NO084 KOMATSU WA380-6 WHEEL LOADER (WORKS) (P980) - 2 x Hydraulic Hoses, Fittings and Protector	183.23		L	
231	INV 91752	29/04/2024	Farmers Centre (Narrogin) Pty Ltd	2019 JCB 5CX BACKHOE LOADER (WORKS) (P833) - Hydraulic Hose and Fittings	20.00			
232	EFT23120	16/05/2024	New Security Installations Pty Ltd			915.20		
233	INV 2316	01/04/2024	New Security Installations Pty Ltd	TOUR- VISITORS CENTRE BUILDING OPERATIONS - GPRS Alarm Monitoring	915.20			
234	EFT23121	16/05/2024	Ikes Home Improvement & Glass Centre			470.00		

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
235	INV 00031593	23/04/2024	Ikes Home Improvement & Glass Centre	CARAVAN PARK GENERAL MAINTENANCE/OPERATIONS - Window Replacement	470.00			
236	EFT23122	16/05/2024	Initial Hygiene (Cannon)			1,495.51		
237	INV 97912260	05/03/2024	Initial Hygiene (Cannon)	NRLC - CLEANING & WASTE DISPOSAL - Hygiene Service 29/02/2024 - 28/05/2024	872.38			
238	INV 97957893	15/04/2024	Initial Hygiene (Cannon)	NRLC - CLEANING & WASTE DISPOSAL - Sanitary & Nappy Bin Service	623.13			
239	EFT23123	16/05/2024	Ggj Consultants			5,135.12		F
240	INV INV-2625	29/04/2024	Ggj Consultants	CHSP-CLINICAL GOVERNANCE - Homecare Licence for One Outlet - HCP & CHSP	5,135.12			
241	EFT23124	16/05/2024	Gbr Mechanical			753.05		
242	INV INV-2571	06/05/2024	Gbr Mechanical	NO01 TOYOTA HILUX 4X4 2.8L DSL D/C - 80,000 km Service	753.05			
243	EFT23125	16/05/2024	Narrogin Flying Club			94.39	L	
244	INV INV0199	08/04/2024	Narrogin Flying Club	AIRSTrip & GROUNDS MAINTENANCE/OPERATIONS - Reimbursement Electricity Charges	94.39			
245	EFT23126	16/05/2024	Northstar Asset Trust T/a Artistralia Pty Ltd			352.00		
246	INV 00012903	28/03/2024	Northstar Asset Trust T/a Artistralia Pty Ltd	WELFARE - YOUTH SERVICES - NRLC Copyright Screenings of Wonka and Migration	352.00			
247	EFT23127	16/05/2024	Truck Centre (WA) Pty Ltd			1,914.68		
248	INV 1779812	09/05/2024	Truck Centre (WA) Pty Ltd	NO1 2018 NISSAN UD TIP TRUCK (WORKS) (P8212) - Supply 2x Brake Pad Kit And 4x Brake Sensors	1,914.68			
249	EFT23128	16/05/2024	Autosmart WA Southwest			921.80		
250	INV 02400965	30/04/2024	Autosmart WA Southwest	ROADM - WORKSHOP/DEPOT EXPENSED EQUIPMENT - 200Lt Drum CTP001B Tiger Plus Bulk	921.80			
251	EFT23129	16/05/2024	Local Government Supervisors Association Of Western Australia			2,684.00		
252	INV 3200	30/04/2024	Local Government Supervisors Association Of Western Australia	WORKS - TRAINING & DEVELOPMENT - LG Works Conference & Expo 2024 (J. Warburton & S.Heil)	2,684.00			
253	EFT23130	16/05/2024	Telair Pty Ltd			1,737.95		PF
254	INV TA10781-058	30/04/2024	Telair Pty Ltd	VARIOUS DEPARTMENTS - Telephone Charges April 2024	1,737.95			
255	EFT23131	16/05/2024	Elgas			25,345.79		
256	INV 0361050800	06/03/2024	Elgas	NRLC - UTILITY - GAS - Gas Supplied 3,701L	6,128.23			
257	INV 0361042518	14/03/2024	Elgas	NRLC - UTILITY - GAS - Gas Supplied 5006L	8,289.08			
258	INV 0360883479	20/03/2024	Elgas	NRLC - UTILITY - GAS - Gas Supplied 2,000L	3,311.66			
259	INV 0360883490	27/03/2024	Elgas	NRLC - UTILITY - GAS - Gas Supplied 4,600L	7,616.82			
260	EFT23132	16/05/2024	BMR Mechanical Pty Ltd			976.83	L	
261	INV INV-2732	16/04/2024	BMR Mechanical Pty Ltd	NO05 RANGER VEHICLE - Labour to Carry Out 15,000km Service	976.83			

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
262	EFT23133	16/05/2024	Narrogin Auto Electrics			99.00	L	
263	INV 267482	24/04/2024	Narrogin Auto Electrics	VARIOUS DEPARTMENTS - SUPPLY RADIO ANTENNA	99.00			
264	EFT23134	16/05/2024	Goodyear Auto Care Narrogin			583.00	L	
265	INV 102942	01/05/2024	Goodyear Auto Care Narrogin	NO4719 2020 JOHN DEERE 620G GRADER (WORKS) (P978) - Major Tyre Repair Strip and Replace	583.00			
266	EFT23135	16/05/2024	Narrogin Fruit Trading Pty Ltd			227.83	L	
267	INV 000F2024020580	05/02/2024	Narrogin Fruit Trading Pty Ltd	MEMBERS - CIVIC FUNCTIONS, REFRESHMENTS & RECEPTIONS - Weekly Food Order	65.88			
268	INV 000G20240211225-126	12/02/2024	Narrogin Fruit Trading Pty Ltd	MEMBERS - CIVIC FUNCTIONS, REFRESHMENTS & RECEPTIONS - Weekly Food Order	49.75			
269	INV 0008202402132	13/02/2024	Narrogin Fruit Trading Pty Ltd	MEMBERS - CIVIC FUNCTIONS, REFRESHMENTS & RECEPTIONS - Weekly Food Order	26.85			
270	INV 000F20240221112	21/02/2024	Narrogin Fruit Trading Pty Ltd	MEMBERS - CIVIC FUNCTIONS, REFRESHMENTS & RECEPTIONS - Weekly Office Order	45.65			
271	INV 000F2024022687	26/02/2024	Narrogin Fruit Trading Pty Ltd	MEMBERS - CIVIC FUNCTIONS, REFRESHMENTS & RECEPTIONS - Weekly Food Order	39.70			
272	EFT23136	16/05/2024	Sage Consulting Engineers Pty Ltd			2,032.80		
273	INV INV-0641	26/03/2024	Sage Consulting Engineers Pty Ltd	TOWN HALL PLAN UPGRADES - Sage Consulting Engineers	2,032.80			
274	EFT23137	16/05/2024	Harcher Distributors (Wa Distributors P/L)			843.20		R
275	INV 950907	23/04/2024	Harcher Distributors (Wa Distributors P/L)	NRLC - GENERAL KIOSK SUPPLIES - Kiosk Stock	360.75			
276	INV 956783	07/05/2024	Harcher Distributors (Wa Distributors P/L)	NRLC - GENERAL KIOSK SUPPLIES GEN - Kiosk Stock	482.45			
277	EFT23138	16/05/2024	Coca Cola Euro Pacific			1,330.78		R
278	INV 462834126	15/05/2024	Coca Cola Euro Pacific	NRLC - GENERAL KIOSK SUPPLIES - Kiosk Stock	1,330.78			
279	EFT23139	16/05/2024	Centigrade Services Pty Ltd			4,185.56		
280	INV 419148	30/04/2024	Centigrade Services Pty Ltd	NRLC - EQUIPMENT HIRE & PURCHASE- Aquatic Aircon Parts	4,185.56			
281	EFT23140	16/05/2024	Aaron Nelson Donovan Fitzpatrick			55.00		

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
282	INV A231800	10/05/2024	Aaron Nelson Donovan Fitzpatrick	Rates refund for assessment A231800 20 HARPER STREET NARROGIN WA 6312	55.00			
283	EFT23141	16/05/2024	Officeworks Ltd			688.98		
284	INV 614034281	30/04/2024	Officeworks Ltd	NRLC - CLEANING & WASTE DISPOSAL - Cleaning Products	74.28			
285	INV 614120513	06/05/2024	Officeworks Ltd	ADMIN - PRINTING & STATIONERY - Copy Paper Admin	614.70			
286	EFT23142	16/05/2024	Council on the Ageing (WA) Inc.			300.00		
287	INV 00007193	19/04/2024	Council on the Ageing (WA) Inc.	NRLC - LICENCES & SUBSCRIPTIONS - Strength For Life Training	150.00			
288	INV 00007192	19/04/2024	Council on the Ageing (WA) Inc.	NRLC - PROGRAM COSTS - Strength For Life Training	150.00			
289	EFT23143	16/05/2024	Chloe McIntosh			190.29		
290	INV 100524	10/05/2024	Chloe McIntosh	ADMIN - TRAINING & DEVELOPMENT - Parking Fees & Meals - DOT Training	190.29			
291	EFT23144	16/05/2024	The Queen Of Beanz			554.00		
292	INV INV-0010	05/04/2024	The Queen Of Beanz	WELFARE - YOUTH SERVICES - Food & Refreshments - Amazing Race Event	500.00			
293	INV INV-0011	16/04/2024	The Queen Of Beanz		54.00			
294	EFT23145	23/05/2024	Best Office Systems			2,591.14	L	
295	INV 630431	24/04/2024	Best Office Systems	VARIOUS DEPARTMENTS - Printing Charges April 2024	2,442.14			
296	INV 631077	09/05/2024	Best Office Systems	LIB - GENERAL OFFICE EXPENSES - Ink	149.00			
297	EFT23147	23/05/2024	Synergy			14,424.27		PR
298	INV 2066043495	21/02/2024	Synergy	ADMIN OFFICE BUILDING OPERATIONS - Electricity Charges 11/01/24 - 14/02/24	666.71			
299	INV 2046094053	15/04/2024	Synergy	SHOP 1 84 FEDERAL STREET (OLD JEWELLERS) - Electricty Charges 08/02/24 - 10/04/24	412.09			
300	INV 2086074510	22/04/2024	Synergy	OLD SHIRE OFFICE BUILDING OPERATIONS - Electricity Charges 17/02/24 - 19/04/24	294.98			
301	INV 2098041895	08/05/2024	Synergy	NRLC - UTILITY - ELECTRICITY - Electricity Charges 10/04/24 - 07/05/24	13,050.49			
302	EFT23148	23/05/2024	Narrogin Packaging			1,381.02	L	

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
303	INV 00087359	18/04/2024	Narrogin Packaging	VARIOUS DEPARTMENTS - Toilet Supplies	594.67			
304	INV 00087360	18/04/2024	Narrogin Packaging	ADMIN OFFICE BUILDING OPERATIONS - Toilet Supplies	136.35			
305	INV 00087404	24/04/2024	Narrogin Packaging	PARKS & GARDENS MAINTENANCE - 6 Station Outdoor Controller	360.00			
306	INV 00087452	27/04/2024	Narrogin Packaging	VARIOUS DEPARTMENTS - Toilet Supplies	290.00			
307	EFT23149	23/05/2024	Great Southern Fuels			29,096.02		
308	INV D2179269	08/05/2024	Great Southern Fuels	STOCK - PURCHASE OF STOCK MATERIALS - Purchase 16,000L of Diesel	28,635.20			
309	INV 19016952	14/05/2024	Great Southern Fuels	SMALL PLANT - 2x 4L Garden 2T & 200L Unleaded	87.42			
310	INV 19016953	14/05/2024	Great Southern Fuels	SMALL PLANT - 2x4L Garden 2T & 200L Unleaded	373.40			
311	EFT23150	23/05/2024	Water Corporation			20,819.28		PR
312	INV 9007713442	08/04/2024	Water Corporation	39 FEDERAL ST BUILDING OPERATIONS - Water Charges 31/01/24 - 05/04/24	763.90			
313	INV 9007713397	08/04/2024	Water Corporation	ADMIN OFFICE BUILDING OPERATIONS - Water Charges 31/01/24 - 05/04/24	503.75			
314	INV 9007713741	08/04/2024	Water Corporation	MEMORIAL PARK MAINTENANCE/OPERATIONS - Water Charges 31/01/24 - 05/04/24	3,784.36			
315	INV 9007714250	09/04/2024	Water Corporation	CARAVAN PARK GENERAL MAINTENANCE/OPERATIONS - Water Charges 31/01/24 - 08/04/24	2,043.79			
316	INV 9007714146	09/04/2024	Water Corporation	HISTORY HALL BUILDING OPERATIONS - Water Charges 31/01/24 - 08/04/24	25.80			
317	INV 9007715114	09/04/2024	Water Corporation	SMITH ST PUBLIC TOILETS (COLES CARPARK) OPERATIONS - Water Charges 31/01/24 - 08/04/24	275.60			
318	INV 9007713987	09/04/2024	Water Corporation	OLD SHIRE OFFICE BUILDING OPERATIONS - Water Charges 31/01/24 - 08/04/24	40.28			
319	INV 9007714242	09/04/2024	Water Corporation	CEMETERY MAINTENANCE/OPERATIONS - Water Charges 31/01/24 - 08/04/24	735.65			
320	INV 9007721602	09/04/2024	Water Corporation	NRLC GROUNDS MAINTENANCE - Water Charges 06/02/24 - 08/04/24	681.10			
321	INV 9007723317	10/04/2024	Water Corporation	MICHAEL BROWN PARK BUILDINGS OPERATIONS - Water Charges 07/02/24 - 09/04/24	20.07			
322	INV 9007721653	10/04/2024	Water Corporation	CROQUET CLUBROOMS BUILDING OPERATIONS - Water Charges 06/02/24 - 09/04/24	2,663.58			
323	INV 9007731288	15/04/2024	Water Corporation	OLD RAILWAY TENNIS BUILDING OPERATIONS - 09/02/24 - 12/04/24	72.68			
324	INV 9007798909	17/04/2024	Water Corporation	STANDPIPE MAINTENANCE/OPERATIONS - Water Charges 12/02/24 - 16/04/24	131.88			

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
325	INV 9007803122	22/04/2024	Water Corporation	WHINBIN ROCK RD CONSTRUCTION - Water Charges 15/02/24 - 19/04/24	2,580.30			
326	EFT23151	23/05/2024	Nutrien Ag Solutions			49.50		
327	INV 910733812	01/05/2024	Nutrien Ag Solutions	LIONS PARK MAINTENANCE/OPERATIONS - Wire for Fence	49.50			
328	EFT23152	23/05/2024	Landgate			10,374.00		
329	INV 393271	08/05/2024	Landgate	RATES - VALUATION EXPENSES - Rural UV General Revaluation	10,374.00			
330	EFT23153	23/05/2024	Narrogin Agricultural Repairs			130.00	L	
331	INV 269013	01/05/2024	Narrogin Agricultural Repairs	SMALL PLANT - Chainsaw Supplies	130.00			
332	EFT23154	23/05/2024	Moore Australia (WA) Pty Ltd			2,200.00		
333	INV 4323	14/05/2024	Moore Australia (WA) Pty Ltd	ANNUAL FINANCIALS WORKSHOP - Financial Reporting Workshop	2,200.00			
334	EFT23155	23/05/2024	Narrogin Meals On Wheels			348.00	L	F
335	INV APR-24	07/05/2024	Narrogin Meals On Wheels	CHSP MEALS ON WHEELS COMMITTEE - April 2024	348.00			
336	EFT23156	23/05/2024	Judith Mcdougall			5,360.00		G
337	INV 2449	09/05/2024	Judith Mcdougall	GOOD SHED ROOF AND WALL RESTORATION - Fire Engineering Solution	- 1,754.55			
338	INV 2449	09/05/2024	Judith Mcdougall	GOOD SHED ROOF AND WALL RESTORATION - Fire Engineering Solition	5,390.00			
339	INV 2449	09/05/2024	Judith Mcdougall	GOOD SHED ROOF AND WALL RESTORATION - Fire Engineering Solution	- 12,645.45			
340	INV 2449	09/05/2024	Judith Mcdougall	GOOD SHED ROOF AND WALL RESTORATION - Fire Engineering Solution	13,910.00			
341	INV 2449	09/05/2024	Judith Mcdougall	GOOD SHED ROOF AND WALL RESTORATION - Fire Engineering Solution	- 4,600.00			
342	INV 2449	09/05/2024	Judith Mcdougall	GOOD SHED ROOF AND WALL RESTORATION - Fire Engineering Solution	5,060.00			
343	EFT23157	23/05/2024	Narrogin Bearing Service			778.90	L	
344	INV IN217567	08/05/2024	Narrogin Bearing Service	ROADM - WORKSHOP/DEPOT EXPENSED EQUIPMENT - Multimeter	129.95			
345	INV IN217722	13/05/2024	Narrogin Bearing Service	ROADM - WORKSHOP/DEPOT EXPENSED EQUIPMENT - Supply New Bench Grinder And Wire Wheel	648.95			
346	EFT23158	23/05/2024	RJ Smith Engineering			240.87		
347	INV DI14477	05/02/2024	RJ Smith Engineering	LIB - GENERAL OFFICE EXPENSES GEN - 6 Water Bottles for Library Water Filter	102.00			
348	INV DI16826	13/05/2024	RJ Smith Engineering	ROADM - WORKSHOP/DEPOT EXPENSED EQUIPMENT - Supply 9x CRC Aerosol & Silicone Lubricant Tube	138.87			
349	EFT23159	23/05/2024	PFD Food Services Pty Ltd			205.50		R

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	Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
	09/05/2024	PFD Food Services Pty Ltd	NRLC - GENERAL KIOSK SUPPLIES - Kiosk Stock	205.50			
	23/05/2024	Great Southern Towing			88.00		
	03/02/2024	Great Southern Towing	OLOPS - SUNDRY EXPENDITURE - TOWING - Removal of Abandoned Vehicle from Havelock Street	88.00			
	23/05/2024	Country Paint Supplies			230.50	L	
	08/05/2024	Country Paint Supplies	FIT OUT OF NEW CHALETS AT CARAVAN PARK - Paint for Toilets	230.50			
	23/05/2024	T Quip			47.15		
	08/05/2024	T Quip	NO52 2018 TORO MOWER 7210 - Supply Tire	47.15			
	23/05/2024	Raeco			137.06		
	08/05/2024	Raeco	LIB - GENERAL OFFICE EXPENSES - Book Covering	137.06			
	23/05/2024	Department of Mines, Industry Regulation and Safety			255.30		
	21/05/2024	Department of Mines, Industry Regulation and Safety	BSL LEVY - PAYMENTS - Payment BSL April 2024	255.30			
	23/05/2024	Steelco's Guns & Outdoors			100.00	L	
	28/03/2024	Steelco's Guns & Outdoors	FIRE - TRAINING & DEVELOPMENT - 45L Wheeled Cooler	100.00			
	23/05/2024	Truck Centre (WA) Pty Ltd			651.29		
	16/05/2024	Truck Centre (WA) Pty Ltd	NO1 2018 NISSAN UD TIP TRUCK (WORKS) (P8212) - Supply 4x Kit Wear Indicators	651.29			
	23/05/2024	Wirtgen Australia Pty Ltd			1,031.25		
	16/05/2024	Wirtgen Australia Pty Ltd	NO4929 2015 HAMM 3520HT STEEL VIBE ROLLER - Repairs	1,031.25			
	23/05/2024	Planning Institute Of Australia Ltd			470.00		
	16/04/2024	Planning Institute Of Australia Ltd	PLAN - TRAINING & DEVELOPMENT - PIA Planning Regional Conference	470.00			
	23/05/2024	Komatsu Australia Pty Ltd			340.08		
	04/04/2024	Komatsu Australia Pty Ltd	Supply Service Filters Air, Oil & Fuel	141.25			
	05/04/2024	Komatsu Australia Pty Ltd	NO084 KOMATSU WA380-6 WHEEL LOADER (WORKS) (P980) - Supply Service Filters Air, Oil & Fuel	198.83			
	23/05/2024	O'Rourke Electric Services			350.00		
	17/05/2024	O'Rourke Electric Services	ADMIN OFFICE BUILDING MAINTENANCE - Replace Broken / faulty Ceiling Led Light Panel In Finance Office	350.00			

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
374	EFT23171	23/05/2024	Corsign (WA) Pty Ltd			2,002.00		
375	INV 00085190	08/05/2024	Corsign (WA) Pty Ltd	SIGNS & TRAFFIC CONTROL EXPENSES - Supply 2x75km Drop Tag , 6x Divisional Markers & 20x RHS Posts	2,002.00			
376	EFT23172	23/05/2024	The White Family Trust T/a Narrogin Valley Stockfeed			135.00	L	
377	INV NVS135788	10/05/2024	The White Family Trust T/a Narrogin Valley Stockfeed	LIONS PARK UPGRADE INCLUDING DISABILITY FRIENDLY SWING - Red Woodchips	135.00			
378	EFT23173	23/05/2024	Elgas			11,094.06		
379	INV 0361086677	01/05/2024	Elgas	NRLC - UTILITY - GAS - Gas Supplied 6,700L	11,094.06			
380	EFT23174	23/05/2024	Earl Street Physiotherapy			178.00	L	F
381	INV 0044129	08/04/2024	Earl Street Physiotherapy	CHCP -CLIENT PURCHASES GEN - Move Your Body Programme	8.00			
382	INV 0044180	10/04/2024	Earl Street Physiotherapy	CHCP -CLIENT PURCHASES GEN - Standard Physio Consultation	85.00			
383	INV 0044549	01/05/2024	Earl Street Physiotherapy	CHCP -Client Purchases - Standard Physio Consultation - Lock Burges	85.00			
384	EFT23175	23/05/2024	Surgical House Pty Ltd			203.32		F
385	INV A931865	14/05/2024	Surgical House Pty Ltd	CHCP -CLIENT PURCHASES - Continence Products and Delivery	203.32			
386	EFT23176	23/05/2024	Narrogin & Districts Plumbing Service			902.00	L	
387	INV INV-1807	04/05/2024	Narrogin & Districts Plumbing Service	GNAROJIN PARK PUBLIC TOILETS MAINTENANCE - Replace Damaged Basin with Stainless Steel Basin	451.00			
388	INV INV-1812	04/05/2024	Narrogin & Districts Plumbing Service	SMITH ST PUBLIC TOILETS (COLES CARPARK) MAINTENANCE - Unblock Toilet and Associated Work	110.00			
389	INV INV-1809	04/05/2024	Narrogin & Districts Plumbing Service	SHOWMEN'S TOILETS BUILDING MAINTENANCE - Replace Gas Regulator to Toilet Block	341.00			
390	EFT23177	23/05/2024	Narrogin Podiatry			143.00	L	F
391	INV 0013494	07/05/2024	Narrogin Podiatry	CHCP -CLIENT PURCHASES - Standard Podiatry Consultation - Ann Neale	71.50			
392	INV 0013692	14/05/2024	Narrogin Podiatry	CHCP -CLIENT PURCHASES - Standard Consultation - Lock Burges	71.50			
393	EFT23178	23/05/2024	Hersey's Safety			792.55		
394	INV SH50559	01/05/2024	Hersey's Safety	PWO - WORKS - PROTECTIVE CLOTHING - Various Personal Protective Equipment	792.55			
395	EFT23179	23/05/2024	Lite n' Easy Pty Ltd			1,694.51		F
396	INV 7296658	23/01/2024	Lite n' Easy Pty Ltd	CHCP -CLIENT PURCHASES - Lite n Easy Meals	85.92			
397	INV 7409459	02/04/2024	Lite n' Easy Pty Ltd	CHCP -Client Purchases GEN - Lite n Easy Meals	132.12			

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
398	INV 7410538	02/04/2024	Lite n' Easy Pty Ltd	CHCP -Client Purchases - Lite n Easy Meals	101.25			
399	INV 7366820	02/04/2024	Lite n' Easy Pty Ltd	CHCP -Client Purchases - Lite n Easy Meals	151.65			
400	INV 7389651	02/04/2024	Lite n' Easy Pty Ltd	CHCP -Client Purchases GEN - Lite n Easy Meals	134.18			
401	INV 7453547	30/04/2024	Lite n' Easy Pty Ltd	CHCP -CLIENT PURCHASES - Lite n Easy - Ann Neale	120.18			
402	INV 7453873	30/04/2024	Lite n' Easy Pty Ltd	CHCP -Client Purchases - Lite n Easy - Alan Errey	87.28			
403	INV 7431480	30/04/2024	Lite n' Easy Pty Ltd	CHCP -CLIENT PURCHASES - Lite n Easy - Norma Whyte	153.05			
404	INV 7410734	30/04/2024	Lite n' Easy Pty Ltd	CHCP -CLIENT PURCHASES - Lite n Easy - Lock Burges	151.65			
405	INV 7442371	07/05/2024	Lite n' Easy Pty Ltd	CHCP -CLIENT PURCHASES - Lite n Easy - Norma Whyte	153.05			
406	INV 7464639	07/05/2024	Lite n' Easy Pty Ltd	CHCP -CLIENT PURCHASES - Lite n Easy - Helen McMullan	176.88			
407	INV 7431352	14/05/2024	Lite n' Easy Pty Ltd	CHCP -CLIENT PURCHASES - Lite n Easy - Lock Burges	151.65			
408	INV 7475146	14/05/2024	Lite n' Easy Pty Ltd	CHCP -CLIENT PURCHASES - Lite n Easy - Alan Errey	95.65			
409	EFT23180	23/05/2024	Bce Surveying Pty Ltd			21,395.00		
410	INV 00015169	16/05/2024	Bce Surveying Pty Ltd	WHINBIN ROCK RD CONSTRUCTION - Survey and Design of Pavement	21,395.00			
411	EFT23181	23/05/2024	Kunal Sarma (MbraceLights Media)			1,500.00		
412	INV INV1805	18/05/2024	Kunal Sarma (MbraceLights Media)	OTHCUL - EVENT/FESTIVAL MATCHING FUNDING - National Volunteer Week 2024 - Faces of Service Photoshoot	1,500.00			
413	EFT23182	23/05/2024	Dormakaba Australia PTY LTD			6,821.47		
414	INV 35WA1174250	19/01/2024	Dormakaba Australia PTY LTD	NRLC - EQUIPMENT HIRE & PURCHASE - New Senors and M4 Switch for Entrance Doors	935.96			
415	INV 35WA118842	18/02/2024	Dormakaba Australia PTY LTD	NRLC - BUILDING MAINTENANCE - Replace and Upgrade Front Door	5,885.51			
416	EFT23183	23/05/2024	The Royal Life Saving Society Australia			1,793.50		
417	INV RLSSWA IN1146	29/04/2024	The Royal Life Saving Society Australia	NRLC - CONTRACT MANAGEMENT EXPENSE - Labour Hire of Duty Manager on 30/03/2024	1,793.50			
418	EFT23184	23/05/2024	Narrogin Freightlines			1,724.78	L	
419	INV INV-14410	11/05/2024	Narrogin Freightlines	SIMMONS ROAD SLK 0. 0 TO 1. 26 - Pick Up 19T Concrete Pipes and Headwalls	1,724.78			
420	EFT23185	23/05/2024	Georgina Paterson			2,760.00		
421	INV 210524	21/05/2024	Georgina Paterson	PUBLIC ART STRATEGY - IMPLEMENTATION - Mural Art Work at Gnarogin Park	2,760.00			

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
422	EFT23186	23/05/2024	Amy Lazenby			362.80		
423	INV 150524	15/05/2024	Amy Lazenby	RATES - TRAINING & DEVELOPMENT - Reimbursement of Accomodation & Meals x2 Days - Training Rates	362.80			
424	EFT23187	23/05/2024	R Munns Engineering Consulting Services			1,258.95		
425	INV 752	03/12/2023	R Munns Engineering Consulting Services	WANDERING ROAD CONSTRUCTION - Re Peg Shoulders	1,258.95			
426	EFT23188	23/05/2024	Narrogin Gas Services			351.40	L	
427	INV 689	18/01/2024	Narrogin Gas Services	HIGHBURY PUBLIC TOILETS MAINTENANCE - Repair Leaking Urinal and Soap Dispenser	296.40			

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
428	INV 693	22/01/2024	Narrogin Gas Services	HIGHBURY PUBLIC TOILET- Repair Leaking Urinal and Soap Dispenser	55.00			
429	EFT23189	23/05/2024	Goodyear Auto Care Narrogin			5,432.00	L	
430	INV 103003	13/05/2024	Goodyear Auto Care Narrogin	VARIOUS VEHICLES - Fit and Balance Tyre	872.00			
431	INV 103010	13/05/2024	Goodyear Auto Care Narrogin	VARIOUS VEHICLES - Supply Vortex Trailer Tyres	4,560.00			
432	EFT23190	23/05/2024	Narrogin Fruit Trading Pty Ltd			667.86		
433	INV 000F2024022680	26/02/2024	Narrogin Fruit Trading Pty Ltd	PWO - GENERAL OFFICE EXPENSES - Weekly Depot Order	18.85			
434	INV INV-0844	02/04/2024	Narrogin Fruit Trading Pty Ltd	FIRE - Training & Development - BFAC Meeting 28 March 2024	601.76			
435	INV 000F2024042530	25/04/2024	Narrogin Fruit Trading Pty Ltd	MEMBERS - CIVIC FUNCTIONS, REFRESHMENTS & RECEPTIONS - Weekly Office Order	47.25			
436	EFT23191	23/05/2024	Shaun and Mandy Muller			260.85		
437	INV A146500	20/05/2024	Shaun and Mandy Muller	Rates refund for assessment A146500 70 ENSIGN STREET NARROGIN WA 6312	260.85			
438	EFT23192	23/05/2024	Joondalup Designs			1,850.00		G
439	INV 24A08	10/05/2023	Joondalup Designs	SES TRAINING / MEETING ROOM - Redesign & Modification of Phase One / DFES Collocated Emergency Services Facilities	1,850.00			
440	EFT23193	23/05/2024	Team Global Express Pty Ltd			285.88		
441	INV 0612-T740710	21/01/2024	Team Global Express Pty Ltd	SIGNS & TRAFFIC CONTROL EXPENSES - Freight Charges	58.20			
442	INV 0623-T740710	05/05/2024	Team Global Express Pty Ltd	VARIOUS DEPARTMENTS - Freight Charges	227.68			
443	EFT23194	23/05/2024	Acorn Trees and Stumps			20,570.00		
444	INV 00000069	29/04/2024	Acorn Trees and Stumps	WHINBIN ROCK RD CONSTRUCTION - Prune Vegetation Back from Road Edge	20,570.00			
445	EFT23195	23/05/2024	Uniforms At Work Australia Pty Ltd			683.90		
446	INV 37000017	04/04/2024	Uniforms At Work Australia Pty Ltd	ADMIN - ALLOWANCES - Staff Uniform	683.90			

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
447	EFT23196	23/05/2024	Allwest Plant Hire Australia Pty Ltd			4,235.00		
448	INV 35893	31/03/2024	Allwest Plant Hire Australia Pty Ltd	WHINBIN ROCK RD CONSTRUCTION - Extra 13 Day Dry Hire 15,000L Water Cart	4,235.00			
449	EFT23197	23/05/2024	Armada Audit Services Pty Ltd			1,100.00		
450	INV 17707	19/03/2024	Armada Audit Services Pty Ltd	OTHGOV - AUDIT FEES - Audit Fee for Pensioner Deferments Claim 30/06/23	1,100.00			
451	EFT23198	23/05/2024	Shire of Williams			9,478.58		
452	INV 6529	17/11/2023	Shire of Williams	PROVISION FOR LONG SERVICE LEAVE (CURRENT) - LSL Entitlement (Geoff McKeown)	9,478.58			
453	EFT23199	23/05/2024	Western Australian Police Force			85.00		
454	INV 127090269	01/05/2024	Western Australian Police Force	AGEDOTHER - MOTOR VEHICLE EXPENSES (CATS PROGRAM) - Police Checks for Drivers	85.00			
455	EFT23200	23/05/2024	Porter Consulting Engineers			7,480.00		
456	INV 00024277	15/05/2024	Porter Consulting Engineers	BLACKSPOT TARWONGA RD (REHAB) SLK 15. 5 - 16 - Perform Pre Opening Audit	7,480.00			
457	EFT23201	23/05/2024	NER Finance			540.82		
458	INV NA00194457	22/02/2024	NER Finance	NRLC - EQUIPMENT HIRE & PURCHASE - Monthly Printer Rental (March 2024)	270.41			
459	INV NA00195711	22/03/2024	NER Finance	NRLC - EQUIPMENT HIRE & PURCHASE - Monthly Printer Rental (April 2024)	270.41			
460	EFT23202	23/05/2024	Manford Records Management Pty Ltd T / As Compu-Stor			1,317.36		
461	INV 309543	17/05/2024	Manford Records Management Pty Ltd T / As Compu-Stor	ADMIN - RECORDS MANAGEMENT - Collection and Destruction of Archives May 2024	1,317.36			
462	EFT23203	23/05/2024	Justine Andrews			298.20		
463	INV 020524	02/05/2024	Justine Andrews	NRLC - RECRUITMENT - Pre-Employment Requirements	298.20			
464	EFT23204	23/05/2024	Cardering Pty Ltd			1,746.00		F
465	INV 301	18/04/2024	Cardering Pty Ltd	CHCP -CLIENT PURCHASES - Update Functional & Cognitive Assessment	873.00			
466	INV 303	25/04/2024	Cardering Pty Ltd	CHCP -CLIENT PURCHASES - Equipment Assessment	873.00			

	Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
			EFT Total \$	464,956.39			

467 Direct Debits

	Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
468	DD9820.1	09/05/2024	Zefari Pty Ltd		4,180.00		
469	INV EMTRSRENT150224	15/02/2024	Zefari Pty Ltd	EMTRS STAFF HOUSING RENTAL PROPERTY EXPENSES - Rent Week Ending 15/02/24	380.00		
470	INV EMTRSRENT180424	18/04/2024	Zefari Pty Ltd	EMTRS STAFF HOUSING RENTAL PROPERTY EXPENSES - Rent Week Ending 18/04/24	380.00		
471	INV EMTTRSRENT260424	26/04/2024	Zefari Pty Ltd	EMTRS STAFF HOUSING RENTAL PROPERTY EXPENSES - Rent Week Ending 26/04/24	380.00		
472	INV EMTRSRENT220224	22/02/2024	Zefari Pty Ltd	EMTRS STAFF HOUSING RENTAL PROPERTY EXPENSES - Rent Week Ending 22/02/24	380.00		
473	INV EMTRSRENT290224	29/02/2024	Zefari Pty Ltd	EMTRS STAFF HOUSING RENTAL PROPERTY EXPENSES - Rent Week Ending 29/02/24	380.00		
474	INV EMTRSRENT070324	07/03/2024	Zefari Pty Ltd	EMTRS STAFF HOUSING RENTAL PROPERTY EXPENSES - Rent Week Ending 07/03/24	380.00		
475	INV EMTRSRENT140324	14/03/2024	Zefari Pty Ltd	EMTRS STAFF HOUSING RENTAL PROPERTY EXPENSES - Rent Week Ending 14/03/24	380.00		
476	INV EMTRSRENT210324	21/03/2024	Zefari Pty Ltd	EMTRS STAFF HOUSING RENTAL PROPERTY EXPENSES - Rent Week Ending 21/03/24	380.00		
477	INV EMTRSRENT280324	28/03/2024	Zefari Pty Ltd	EMTRS STAFF HOUSING RENTAL PROPERTY EXPENSES - Rent Week Ending 28/03/24	380.00		
478	INV EMTRSRENT040424	04/04/2024	Zefari Pty Ltd	EMTRS STAFF HOUSING RENTAL PROPERTY EXPENSES - Rent Week Ending 04/04/24	380.00		
479	INV EMTRSRENT110424	11/04/2024	Zefari Pty Ltd	EMTRS STAFF HOUSING RENTAL PROPERTY EXPENSES - Rent Week Ending 11/04/24	380.00		
480	DD9822.1	03/05/2024	Les Mills Asia Pacific		3,597.40		
481	INV 889320	04/12/2023	Les Mills Asia Pacific	NRLC - CONTRACT MANAGEMENT EXPENSE - Group Fitness Licence 04/12/2023	860.62		
482	INV 891078	02/01/2024	Les Mills Asia Pacific	NRLC - CONTRACT MANAGEMENT EXPENSE - Group Fitness Class Licence 02/01/2024	912.26		
483	INV 893127	01/02/2024	Les Mills Asia Pacific	NRLC - CONTRACT MANAGEMENT EXPENSE - Group Fitness Licence 01/02/2024	912.26		
484	INV 895267	01/03/2024	Les Mills Asia Pacific	NRLC - CONTRACT MANAGEMENT EXPENSE - Group Fitness Licence 01/03/2024	912.26		
485	DD9823.1	03/05/2024	Sandwai Pty Ltd		4,039.20		R
486	INV 550236350	15/12/2023	Sandwai Pty Ltd	CHSP - INFORMATION SYSTEMS - Monthly Charges December	1,064.80		
487	INV 556835361	15/01/2024	Sandwai Pty Ltd	CHSP - INFORMATION SYSTEMS - Monthly Charges Jan 2024	1,064.80		
488	INV 564316228	15/02/2024	Sandwai Pty Ltd	CHSP - INFORMATION SYSTEMS - Monthly Charges Feb 2024	1,064.80		
489	INV 571659825	15/03/2024	Sandwai Pty Ltd	CHSP - INFORMATION SYSTEMS - Monthly Charges Mar 2024	844.80		
490	DD9838.1	16/05/2024	Australian Taxation Office		491.68		
491	INV SUPER160524	16/05/2024	Australian Taxation Office	SUPERANNUATION - Unpaid December 2023	491.68		
492	DD9842.1	15/05/2024	Australian Taxation Office		46,785.00		
493	INV PAYGPPE06.05.2024	15/05/2024	Australian Taxation Office	PAYG MAY - PPE 06/05/2024	46,785.00		

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
494	DD9867.1	17/05/2024	Australian Taxation Office			1,015.37		
495	INV SUPER170524	17/05/2024	Australian Taxation Office	SUPERANNUATION - Unpaid February - April	1,015.37			
496	DD9870.1	30/05/2024	Beam			- 1,371.55		
497	INV REFUNDPPE041224	30/05/2024	Beam	PAYROLL CREDITORS - REFUND Superannuation PPE04/12/2023	- 230.82			
498	INV REFUNDPPE18122024	30/05/2024	Beam	PAYROLL CREDITORS - REFUND Superannuation PPE 18/12/2023	- 213.17			
499	INV REFUNDPPE12022024	30/05/2024	Beam	PAYROLL CREDITORS - REFUND Superannuation PPE 12/02/2024	- 223.92			
500	INV REFUNDPPE26022024	30/05/2024	Beam	PAYROLL CREDITORS - REFUND Superannuation PPE 26/02/2024	- 196.62			
501	INV REFUNDPPE11032024	30/05/2024	Beam	PAYROLL CREDITORS - REFUND Superannuation PPE 11/03/2024	- 258.52			
502	INV REFUNDPPE25032024	30/05/2024	Beam	PAYROLL CREDITORS - REFUND Superannuation PPE25/03/2024	- 248.50			
503	DD9877.1	14/05/2024	Beam			28,892.88		
504	INV PPE22/04/2024	14/05/2024	Beam	PAYROLL CREDITORS - Superannuation Contribution PPE 22/04/2024	28,892.88			
505	DD9878.1	14/05/2024	Beam			27,913.66		
506	INV PPE06/05/2024	14/05/2024	Beam	PAYROLL CREDITORS - Superannuation Contribution PPE 06/05/2024	27,913.66			
507	DD9879.1	14/05/2024	Beam			27,453.29		
508	INV PPE11/03/2024	14/05/2024	Beam	PAYROLL CREDITORS - Superannuation Contribution PPE 11/03/2024	27,453.29			
509	DD9886.1	16/05/2024	Australian Taxation Office			- 491.68		
510	INV SUPER160524	16/05/2024	Australian Taxation Office	SUPERANNUATION- Unpaid December 2023	- 491.68			
511	DD9886.2	31/05/2024	Australian Taxation Office			491.68		
512	INV SGCHARGE EMP516	31/05/2024	Australian Taxation Office	PAYROLL CREDITORS - Superannuation Guarantee Charge Emp # 516	491.68			
513	DD9887.1	17/05/2024	Australian Taxation Office			- 1,015.37		
514	INV SUPER170524	17/05/2024	Australian Taxation Office	SUPERANNUATION - Unpaid February - April	- 1,015.37			
515	DD9887.2	31/05/2024	Australian Taxation Office			1,015.37		
516	INV SGCHARGE - EMP 521	31/05/2024	Australian Taxation Office	PAYROLL CREDITORS - Superannuation Guarantee Charge Emp #521	1,015.37			
517	DD9889.1	21/05/2024	Australian Taxation Office			- 63,177.00		
518	INV BASAPR24	21/05/2024	Australian Taxation Office	BAS APRIL 2024	- 63,177.00			
519	DD9901.1	28/05/2024	Australian Taxation Office			50,237.00		
520	INV PAYGPPE200524	28/05/2024	Australian Taxation Office	PAYG MAY - PPE 20/05/2024	50,237.00			
521	DD9915.1	22/05/2024	National Australia Bank Ltd			204.93		
522	INV 662073310-147	22/05/2024	National Australia Bank Ltd	NAB CONNECT FEE 01/04/2024 TO 30/04/2024	204.93			

	Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
Direct Debit Total				\$ 130,261.86			

Fuel Card Pruchases

	Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
526	EFT 23086	30/04/2024	Great Southern Fuels		7002.36		PF
527	INV APRIL2024	30/04/2024	Great Southern Fuels	002NGN 2022 Mitsubishi Eclipse Hybrid	156.23		
528	INV APRIL2024	30/04/2024	Great Southern Fuels	009NGN TOYOTA COROLLA HATCH 2020 (p43)	122.69		
529	INV APRIL2024	30/04/2024	Great Southern Fuels	0NGN ISUZU MUX LSM 4X4(EMCCS Vehicle) (P5)	601.85		
530	INV APRIL2024	30/04/2024	Great Southern Fuels	0NO Isuzu Mux 4x4 LSM 2022 (EMTRS Vehicle) (P700)	302.07		
531	INV APRIL2024	30/04/2024	Great Southern Fuels	1NGN Toyota Prado GXL DSL Wagon (CEO Vehicle)(P1)	1,103.42		
532	INV APRIL2024	30/04/2024	Great Southern Fuels	990NGN 2015 MITSUBISHI FUSO ROSA (HOMECARE) (P56)	110.01		
533	INV APRIL2024	30/04/2024	Great Southern Fuels	NGN00 2021 Toyota Kluger GX AWD Pet Wagon (EMDRS) (P2)	539.44		
534	INV APRIL2024	30/04/2024	Great Southern Fuels	NGN11555 2022 Toyota Corolla (NHC) (P15)	183.46		
535	INV APRIL2024	30/04/2024	Great Southern Fuels	NGN15333 2014 MAZDA BT-50 (HACC) (P13)	262.03		
536	INV APRIL2024	30/04/2024	Great Southern Fuels	NGN2 TOYOTA COROLLA HATCH 2.0L pet CVT ascent sport	402.31		
537	INV APRIL2024	30/04/2024	Great Southern Fuels	NGN219 2022 NISSAN X-TRAIL (CATS) (P14)	1,064.93		
538	INV APRIL2024	30/04/2024	Great Southern Fuels	NGN417 2020(Ranger) Mazda BT-50 4x4(PA007A)	227.27		
539	INV APRIL2024	30/04/2024	Great Southern Fuels	NGN839 2019 Toyota Corrola CVT Ascent (CHCP)	190.17		
540	INV APRIL2024	30/04/2024	Great Southern Fuels	NGN847 MAZDA CX-5B Auto Maxx Sport (NHC)	271.07		
541	INV APRIL2024	30/04/2024	Great Southern Fuels	SMALL PLANT - HOMECARE	26.57		
542	INV APRIL2024	30/04/2024	Great Southern Fuels	NO01 TOYOTA HILUX 4X4 2.8L DSL D/C	310.02		
543	INV APRIL2024	30/04/2024	Great Southern Fuels	NO05 Isuzu D Max Crew Cab UTE (SENIOR RANGER) (P8163)	377.81		
544	INV APRIL2024	30/04/2024	Great Southern Fuels	NO5020 ISUZU FTS800 FIRE UNIT (WORKS) (P959)	206.85		
545	INV APRIL2024	30/04/2024	Great Southern Fuels	FIRE - Motor Vehicle Expenses GEN	233.02		
546	INV APRIL2024	30/04/2024	Great Southern Fuels	NO209 ISUZU FTS139/260 FIRE UNIT	176.29		
547	INV APRIL2024	30/04/2024	Great Southern Fuels	NGN182 TOYOTA HILUX 4x2 Workmate Utility (NHC)	134.85		

	Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
			Fuel Card Total	\$ 7,002.36			

Coles Card Prurchases

	Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
548	EFT23146	30/04/24	Coles		285.36		PF
549	EFT23146	30/04/24	Coles	CHSP Social Support Group Other Expenses	237.22		
550	EFT23146	30/04/24	Coles	INVEST - Bank Fees and Charges (Exc GST) GEN	48.14		
551	EFT23005	31/3/24	Coles		906.26		PF
552	EFT23005	31/3/24	Coles	MEMBERS - Civic Functions, Refreshments & Receptions GEN	193.76		
553	EFT23005	31/3/24	Coles	CHSP Social Support Group Other Expenses	522.35		
554	EFT23005	31/3/24	Coles	OTHCUL - Australia Day GEN	190.15		
			Coles Card Total	\$ 1,191.62			

Credit Card Prurchases

	Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
555	DD9839.1	09/05/2024	General Credit Card Purchases		375.60		PF
556	INV MFMAR2024-1	11/03/2024	General Credit Card Purchases	MEMBERS - Civic Functions, Refreshments & Receptions - Flowers in the Valle	45.60		
557	INV MFMAR2024-2	18/03/2024	General Credit Card Purchases	HEALTH - CONTROL EXPENSES - Dust Minitor	330.00		
558	DD9840.1	16/05/2024	General Credit Card Purchases		1,784.25		PF
559	INV PRMAR2024-1	18/03/2024	General Credit Card Purchases	CHSP SOCIAL SUPPORT GROUP OTHER EXPENSES - Morning Tea - Medical Students Visits	41.37		
560	INV PRMAR2024-10	07/03/2024	General Credit Card Purchases	OTHCUL - EVENT/PROJECT PROMOTION - Narrogin Brook Clean Up Facebook Campaign Post	29.99		
561	INV FEESMAR2024	28/03/2024	General Credit Card Purchases	INVEST - BANK FEES AND CHARGES (EXC GST) - Interest Charges	2.69		
562	INV PRMAR2024-2	11/03/2024	General Credit Card Purchases	OTHCUL - EVENT/FESTIVAL MATCHING FUNDING - 60 Sausages for BBQ - Clean Up Day	72.56		
563	INV PRMAR2024-3	15/03/2024	General Credit Card Purchases	CHCP -CLIENT PURCHASES - GPS Watch & Daily Reminder Clock	667.55		
564	INV PRMAR2024-4	11/03/2024	General Credit Card Purchases	LIB - POSTAGE & FREIGHT - Freight Charges March 2024	68.30		
565	INV PRMAR2024-5	13/03/2024	General Credit Card Purchases	CHCP -CLIENT PURCHASES - Dog Door with Secutiry Features	597.55		
566	INV PRMAR2024-6	25/03/2024	General Credit Card Purchases	LIB - POSTAGE & FREIGHT - Freight Charges March 2024	21.20		

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
567	INV PRMAR2024-7	26/03/2024	General Credit Card Purchases	WELFARE - YOUTH SERVICES - DVD for School Holiday Movie Night	57.94			
568	INV PRMAR2024	28/03/2024	General Credit Card Purchases	OTHCUL - BLUE LIGHT DISCO - Easter Egg for Easter Egg Hunt	166.00			
569	INV PRMAR2024-9	07/03/2024	General Credit Card Purchases	OTHCUL - EVENT/PROJECT PROMOTION - Various Events Facebook Campaign Post	59.10			
570	DD9840.2	17/05/2024	General Credit Card Purchases			6.40		PF
571	INV PRMAR2024-11	17/05/2024	General Credit Card Purchases	OTHCUL - EVENT/FESTIVAL MATCHING FUNDING - Meals for Clean Up Day 10/03/24	6.40			
572	DD9841.1	03/05/2024	General Credit Card Purchases			862.31		PF
573	INV DSMAR2024-1	01/03/2024	General Credit Card Purchases	ADMIN - SUBSCRIPTIONS AND MEMBERSHIPS - Monthly Subscription Adobe Express Mar 2024	28.99			
574	INV DSMAR2024-10	21/03/2024	General Credit Card Purchases	ADMIN - TRAINING & DEVELOPMENT - Parking at Accomodation - Aboriginal Engagement Forum	30.00			
575	INV DSMAR2024-2	28/02/2024	General Credit Card Purchases	ANIMAL - SALARIES & WAGES - DCBFCO 3x Polo Shirt and T-shirts	192.95			
576	INV DSMAR2024-3	04/03/2024	General Credit Card Purchases	ADMIN - TRAVEL & ACCOMMODATION - Parking - Meeting with Grants	9.59			
577	INV DSMAR2024-4	04/03/2024	General Credit Card Purchases	ADMIN - TRAVEL & ACCOMMODATION - Parking Fee - Meeting with Grants Commision	5.55			
578	INV DSMAR2024-5	04/03/2024	General Credit Card Purchases	ADMIN - TRAVEL & ACCOMMODATION - Taxi Fare - Grant Commision Meeting	24.78			
579	INV DSMAR2024-6	04/03/2024	General Credit Card Purchases	ADMIN - TRAVEL & ACCOMMODATION - 1night Accomodation & Breakfast	305.70			
580	INV DSMAR2024-7	06/03/2024	General Credit Card Purchases	ADMIN - TRAVEL & ACCOMMODATION - 1night Accomodation - Aboriginal Engagement Forum	188.10			
581	INV DSMAR2024-8	15/03/2024	General Credit Card Purchases	FIRE PREVENTION/BURNING/CONTROL - Monthly Charges for SMS Account Feb2024	17.78			
582	INV DSMAR2024-9	20/03/2024	General Credit Card Purchases	ADMIN - TRAINING & DEVELOPMENT - Meals - WALGA Aboriginal Engagement Forum	58.87			
583	DD9841.2	07/05/2024	General Credit Card Purchases			1,627.98		PF
584	INV DSMAR2024-11	25/03/2024	General Credit Card Purchases	ADMIN - TRAVEL & ACCOMMODATION - Parking Fee - Meeting with Department of Transport	8.58			
585	INV DSMAR2024-12	22/03/2024	General Credit Card Purchases	ADMIN - TRAVEL & ACCOMMODATION - CEO Connetions Forum	51.00			
586	INV DSMAR2024-13	22/03/2024	General Credit Card Purchases	ADMIN - TRAVEL & ACCOMMODATION - Accomodation CEO Forum Meeting	334.45			
587	INV DSMAR2024-14	25/03/2024	General Credit Card Purchases	MEMBERS - CIVIC FUNCTIONS, REFRESHMENTS & RECEPTIONS - Refreshments - Tour of Flat Rocks Windfarm	26.80			
588	INV DSMAR2024-15	26/03/2024	General Credit Card Purchases	MEMBERS - CIVIC FUNCTIONS, REFRESHMENTS & RECEPTIONS - Refreshments - Tour of Flat Rocks Windfarm	164.00			
589	INV DSMAR2024-16	28/03/2024	General Credit Card Purchases	XC CLASS TRAIN MURAL PROJECT - Paint for Narrogin Train Station	1,043.15			
590	DD9844.1	09/05/2024	General Credit Card Purchases			2,738.15		PF
591	INV MFFEB2024-1	31/01/2024	General Credit Card Purchases	ADMIN - TRAINING & DEVELOPMENT - Moore Australia Workshop	1,320.00			
592	INV MFFEB2024-2	02/02/2024	General Credit Card Purchases	MEMBERS - CIVIC FUNCTIONS, REFRESHMENTS & RECEPTIONS	77.20			
593	INV MFFEB2024-3	02/05/2024	General Credit Card Purchases	OTHCUL - OTHER EXPENDITURE - Microphone Stand and Lectern Holder	228.00			

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
594	INV MFFEB2024-4	07/02/2024	General Credit Card Purchases	LIB - POSTAGE & FREIGHT - Inter-Library Loan Postage	64.70			
595	INV MFFEB2024-5	16/02/2024	General Credit Card Purchases	ADMIN - INFORMATION SYSTEMS - Greeting Messages Jan2024	151.80			
596	INV MFFEB2024-7	09/05/2024	General Credit Card Purchases	ADMIN - PRINTING & STATIONERY - A4 Printing Paper , Certificate Frame and Delivery Charges	485.85			
597	INV MFFEB2024-8	28/02/2024	General Credit Card Purchases	NGN417 2020(RANGER) MAZDA BT-50 4X4 - Transfer of Plates to New Vehicle	31.10			
598	INV MFFEB2024-9	28/02/2024	General Credit Card Purchases	NGN417 2020(RANGER) MAZDA BT-50 4X4 - Licensing New Ranger Vehicle	173.10			
599	INV MFDEC2024-10	20/02/2024	General Credit Card Purchases	NGN417 2020(RANGER) MAZDA BT-50 4X4(PA007A)	206.40			
600	DD9846.2	16/05/2024	General Credit Card Purchases			1.23		PF
601	INV FEESFEB2024	28/02/2024	General Credit Card Purchases	INVEST - BANK FEES AND CHARGES (EXC GST) - Interest Charges	1.23			
602	DD9903.1	08/05/2024	General Credit Card Purchases			6,760.92		PF
603	INV MFDEC2024-1	29/11/2023	General Credit Card Purchases	MG HS PLUS EXCITE Wagon (EHO Vehicle) P65 - Vehicle Service	1,481.00			
604	INV MFDEC2024-2	01/12/2023	General Credit Card Purchases	SMALL PLANT - Asbestos Vacuum and Bags	1,314.50			
605	INV MFDEC2024-3	04/12/2023	General Credit Card Purchases	TOUR - PUBLIC RELATIONS & AREA PROMOTION - Narrogin Caravan Park Business Name Renewal for 3years	98.00			
606	INV MFDEC2024-4	08/12/2023	General Credit Card Purchases	FIT OUT OF NEW CHALETS AT CARAVAN PARK - Caravan Park Supplies	1,011.50			
607	INV MFDEC2024-5	14/12/2023	General Credit Card Purchases	FIT OUT OF NEW CHALETS AT CARAVAN PARK - Linen and Crockery for Caravan Park Chalet	893.00			
608	INV MFDEC2024-6	14/12/2023	General Credit Card Purchases	ADMIN - ADVERTISING - Advertisement - Registered Nurse Vacancy	403.92			
609	INV MFDEC2024-7	20/12/2023	General Credit Card Purchases	FIT OUT OF NEW CHALETS AT CARAVAN PARK - Wall Hangings / Pictures for New Units	990.00			
610	INV MFDEC2024-8	21/12/2023	General Credit Card Purchases	FIT OUT OF NEW CHALETS AT CARAVAN PARK - Wall Hanging / Pictures for New Units	359.00			
611	INV MFDEC2024-9	27/12/2023	General Credit Card Purchases	NGN219 2022 NISSAN X-TRAIL - Insurance Renewal	210.00			
Credit Card Total					\$ 14,156.84			

612 Payroll

		Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
			PAYROLL			\$ 351,241.54		
613	Pay 21	5/6/2024	PAYROLL	Pay 21 - 06/05/2024	\$ 171,024.05			
614	Pay22	5/20/2024	PAYROLL	Pay 22 - 20/05/2024	\$ 180,217.49			
Credit Card Total					\$ 351,241.54			

	Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
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ABBREVIATIONS			Cheque Total (Less TD)		\$942.55	0.152%
PF	Partially Funded		EFT Total*	\$464,956.39		75.173%
I	Insurance		Direct Debit Total	\$130,261.86		21.061%
F	Funded		Credit Card Total	\$14,156.84		2.289%
L	Local Supplier		Trust Total			
R	Recoverable		Coles Card Total	\$1,191.62		0.193%
PR	Partially Recoverable		Fuel Cards Total	\$7,002.36		1.132%
G	Grant		Subtotal	\$618,511.62		100.00%
			Term Deposits (TD)			
			Payroll Total*	\$351,241.54		56.788%
			Subtotal	\$351,241.54		
			Synergy List of Accounts - Municipal Bank Account		\$618,511.62	100.00%
			Synergy List of Accounts -Trust Bank Account			
			Payroll	\$351,241.54		
			Variance			
			Local Suppliers		\$86,281.01	13.95%
			Employees	\$351,241.54		56.79%
			Combined Total	\$437,522.55		70.74%
			Synergy List of Accounts - Municipal Bank Account		\$618,511.62	100.00%
			Synergy List of Accounts -Trust Bank Account			
			Payroll	\$351,241.54		
			Variance			
			Local Suppliers		\$86,281.01	13.95%
			Employees	\$351,241.54		56.79%
			Combined Total	\$437,522.55		70.74%

* Please note Payroll totals

Pay Date	Nett Paid
Pay 21 - 06/05/2024	\$ 171,024.05
Pay 22 - 20/05/2024	\$ 180,217.49

	Date	Name	Description	Invoice Amount	Payment Total	Type	Funding
Total				\$351,241.54			

10.3.2 MONTHLY FINANCIAL REPORTS – MAY 2024

File Reference	12.8.1
Disclosure of Interest	Neither the Author nor Authorising Officer have any Impartiality, Financial or Proximity Interest that requires disclosure.
Applicant	Nil
Previous Item Numbers	Nil
Date	17 June 2024
Author	Mark Furr - Executive Manager Corporate & Community Services
Authorising Officer	Dale Stewart - Chief Executive Officer
Attachments 1. Monthly Financial Report for May 2024; and 2. Capital Projects Tracker – as at 17 June 2024.	

Summary

In accordance with the Local Government Financial Management Regulations (1996), Regulation 34, the Shire is to prepare a monthly Statement of Financial Activity for notation by Council.

Background

Nil

Consultation

Consultation has been undertaken with the Chief Executive Officer and Manager Corporate Services.

Statutory Environment

Local Government (Financial Management) Regulations 1996, Regulation 34 applies.

Policy Implications

The Council's Policy Manual contains no policies that relate and nor are there any proposed.

Financial Implications

All expenditure has been approved via adoption of the 2023/24 Annual Budget or resulting from a Council resolution.

Council is requested to review the May 2024 Monthly Financial Reports, noting that Council is advised of the following matters:

- Rates received to date is 89% of the total to be collected, and there is still more than \$849k to be collected. It should be noted that of this amount there is approximately \$205k related to Pensioner Rate Deferments;
- The current amount of \$60k for 90+ day debts includes an outstanding amount of \$33k for the Upper Great Southern Hockey Association which is 55% of the overall total outstanding and remains an agreed debt that will be carried until the end of the financial year. The remaining \$27k is made up of 26 debtors, which are being followed up.

- A total of 287 invoices were paid in May 2024, of which 72% were paid within 30 days.
- The final payment to the YMCA has been paid and will be represented in the financial report for June 2024.

Strategic Implications

Shire of Narrogin Strategic Community Plan 2017-2027	
Objective	4. Civic Leadership Objective (Continually enhance the Shire's organisational capacity to service the needs of a growing community)
Outcome:	4.1 An efficient and effective organisation

Risk Implications

Risk	Risk Likelihood	Risk Impact / Consequence	Risk Rating	Principal Risk Theme	Risk Action Plan (Controls or Treatment proposed)
Failure to monitor the Shire's ongoing financial performance would increase the risk of a negative impact on the Shire's Financial position. As the monthly report is a legislative requirement, non-compliance may result in a qualified audit.	Rare (1)	Moderate (3)	Low (1-4)	Compliance Requirements	Accept Officer Recommendation

Risk Matrix

Consequence Likelihood		Insignificant	Minor	Moderate	Major	Catastrophic
		1	2	3	4	5
Almost Certain	5	Medium (5)	High (10)	High (15)	Extreme (20)	Extreme (25)
Likely	4	Low (4)	Medium (8)	High (12)	High (16)	Extreme (20)
Possible	3	Low (3)	Medium (6)	Medium (9)	High (12)	High (15)
Unlikely	2	Low (2)	Low (4)	Medium (6)	Medium (8)	High (10)
Rare	1	Low (1)	Low (2)	Low (3)	Low (4)	Medium (5)

A risk is often specified in terms of an event or circumstance and the consequences that may flow from it. An effect may be positive, negative or a deviation from the expected and may be related to the following objectives; work health and safety, financial, service interruption, compliance, reputation and environment. A risk matrix has been prepared and a risk rating of three (3) has been determined for this item. Any items with a risk rating of 10 or greater (considered to be high or extreme risk) will

be added to the Risk Register, and any item with a risk rating of 16 or greater will require a specific risk treatment plan to be developed.

Comment/Conclusion

The May 2024 Monthly Financial Report is presented for review.

Voting Requirements

Simple Majority

OFFICERS' RECOMMENDATION

That with respect to the Monthly Financial Report for May 2024, Council note the Reports as presented.

MONTHLY FINANCIAL REPORT
(Containing the Statement of Financial Activity)
FOR THE PERIOD ENDED 31 MAY 2024



LOCAL GOVERNMENT ACT 1995

LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996

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STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 MAY 2024

STATUTORY REPORTING PROGRAMS

	Ref Note	Adopted Annual Budget	Amended Annual Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)	Var. % (b)-(a)/(a)	Var.
		\$	\$	\$	\$	\$	%	
OPERATING ACTIVITIES								
Revenue from operating activities								
General Purpose Funding - Rates		5,777,238	5,777,238	5,777,238	5,766,018	(11,220)	(0%)	
General Purpose Funding - Other		435,752	591,752	546,447	682,837	136,390	25%	▲
Governance		3,750	3,750	3,646	1,880	(1,765)	(48%)	
Law, Order and Public Safety		310,644	310,644	277,118	159,231	(117,888)	(43%)	▼
Health		32,995	32,995	30,254	13,564	(16,689)	(55%)	▼
Education and Welfare		2,383,053	2,388,053	2,295,820	1,851,816	(444,004)	(19%)	▼
Housing		17,651	17,651	16,180	16,846	666	4%	
Community Amenities		1,348,433	1,317,656	1,288,909	1,259,280	(29,629)	(2%)	
Recreation and Culture		52,075	530,659	486,587	240,908	(245,679)	(50%)	▼
Transport		329,067	329,067	274,484	309,027	34,543	13%	▲
Economic Services		628,751	634,751	581,855	477,687	(104,168)	(18%)	▼
Other Property and Services		163,600	176,400	161,804	156,464	(5,340)	(3%)	
		11,483,008	12,110,615	11,740,340	10,935,557	(804,783)	(7%)	
Expenditure from operating activities								
General Purpose Funding		(407,215)	(407,215)	(374,040)	(287,555)	86,485	23%	▲
Governance		(844,147)	(817,147)	(728,676)	(665,244)	63,432	9%	
Law, Order and Public Safety		(948,449)	(948,449)	(873,611)	(609,204)	264,407	30%	▲
Health		(350,546)	(301,228)	(283,930)	(188,237)	95,694	34%	▲
Education and Welfare		(2,517,892)	(2,817,668)	(2,645,524)	(1,744,411)	901,112	34%	▲
Housing		(41,901)	(41,901)	(38,840)	(43,222)	(4,382)	(11%)	
Community Amenities		(1,553,091)	(1,553,091)	(1,426,247)	(1,080,791)	345,456	24%	▲
Recreation and Culture		(3,858,745)	(4,613,198)	(4,256,728)	(3,534,803)	721,925	17%	▲
Transport		(4,137,108)	(4,002,850)	(3,669,283)	(2,753,850)	915,433	25%	▲
Economic Services		(1,099,712)	(962,642)	(878,183)	(834,188)	43,994	5%	
Other Property and Services		(148,042)	(148,046)	(167,655)	30,623	198,278	118%	▲
		(15,906,850)	(16,613,436)	(15,342,717)	(11,710,884)	3,631,834		
Operating activities excluded from budget								
Add back Depreciation		3,206,671	3,206,671	2,939,452	2,487,863	(451,589)	0%	
Adjust (Profit)/Loss on Asset Disposal	12	84,428	84,428	84,428	0	(84,428)	0%	
Movement in Leave Reserve (Added Back)		161,813	161,813	0	0	0	0%	
Adjust Employee Benefits Provision (Non-Current)		123,955	123,955	0	0	0	0%	
Adjust Deferred Pensioner Rates/ESL (Non-Current)		0	0	0	0	0	0%	
Adjust Receivables Employee Related Provision (Non-Current)		0	0	0	0	0	0%	
Adjust Sundry Debtors (Non-Current)		0	0	0	0	0	0%	
Stock Movement		0	0	0	0	0	0%	
Amount attributable to operating activities		(846,974)	(925,954)	(578,497)	1,712,537	2,291,034		
INVESTING ACTIVITIES								
Non-Operating Grants, Subsidies and Contributions		12,041,492	5,384,939	4,095,691	2,502,728	(1,592,963)	39%	
Land Held for Resale	11	0	0	0	0	0	0%	
Land and Buildings	11	(9,051,662)	(2,283,872)	(1,501,488)	(462,427)	1,039,061	(69%)	
Plant and Equipment	11	(3,175,292)	(3,306,319)	(2,203,975)	(1,310,737)	893,237	(41%)	
Furniture & Equipment	11	(13,200)	(13,200)	(13,200)	(7,200)	6,000	(45%)	
Infrastructure Assets - Roads	11	(3,007,185)	(3,007,185)	(2,969,691)	(2,423,318)	546,373	(18%)	
Infrastructure Assets - Footpaths	11	(58,000)	(58,000)	(58,000)	(100,880)	(42,880)	0%	
Infrastructure Assets - Road Drainage	11	(10,000)	(10,000)	(10,000)	0	10,000	0%	
Infrastructure Assets - Bridges	12	(863,000)	(863,000)	(863,000)	(247,377)	615,623	0%	
Infrastructure Assets - Other	12	(347,400)	(447,400)	(442,400)	(258,867)	183,533	(41%)	
Infrastructure Assets - Parks and Gardens	11	(26,000)	(65,210)	(65,210)	(43,117)	22,093	0%	
Proceeds from Disposal of Assets	12	488,683	581,414	581,414	405,879	(175,535)	0%	
Proceeds from Sale of Investments		0	0	0	0	0	0%	
Amount attributable to investing activities		(4,021,564)	(4,087,833)	(3,449,859)	(1,945,316)	1,504,543		
FINANCING ACTIVITIES								
Proceeds from New Debentures	13	0	0	0	0	0	0%	
Proceeds from Advances								
Repayment of Debentures	13	(139,123)	(139,123)	(122,219)	(123,746)	(1,526)	0%	
Self-Supporting Loan Principal								
Transfer from Reserves	10	4,731,906	5,202,320	1,109,460	0	(1,109,460)	0%	
Advances to Community Groups								
Transfer to Reserves	10	(3,194,435)	(3,303,176)	0	0	0	0%	
Amount attributable to financing activities		1,398,349	1,760,022	987,241	(123,746)	(1,110,986)		
MOVEMENT IN SURPLUS OR DEFICIT								
Surplus or deficit at the start of the financial year		3,470,191	3,444,151	3,444,151	3,444,151	(0)	(0%)	▼
Amount attributable to operating activities		(846,974)	(925,954)	(578,497)	1,712,537	2,291,034	(396%)	
Amount attributable to investing activities		(4,021,564)	(4,087,833)	(3,449,859)	(1,945,316)	1,504,543	(44%)	▼
Amount attributable to financing activities		1,398,349	1,760,022	987,241	(123,746)	(1,110,986)	(113%)	
Surplus or deficit at the end of the financial year	3	(0)	190,385	403,036	3,087,626	2,684,590		

KEY INFORMATION

▲ ▼ Indicates a variance between Year to Date (YTD) Budget and YTD Actual data as per the adopted materiality threshold.

Refer to Note 2 for an explanation of the reasons for the variance.

The material variance adopted by Council for the current year is \$15,000 or 10% whichever is the greater.

This statement is to be read in conjunction with the accompanying Financial Statements and notes.

EXPLANATION OF MATERIAL VARIANCES

NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY FOR THE PERIOD ENDED 31 MAY 2024

The material variance thresholds are adopted annually by Council as an indicator of whether the actual expenditure or revenue varies from the year to date budget materially. The material variance adopted by Council for the current year is an Actual Variance exceeding 10% and a value greater than \$15,000.

Reporting Program	Var. \$	Var. %	Var.	Timing/ Permanent	Explanation of Variance
Opening Funding Surplus	\$ (0)	(0%)	▼		Note 1: The Opening Funding Surplus whilst not a variance, and is in accordance with audited Annual Financial Statements for 22/23 and was adjusted by \$26,040 in accordance with CR280224.10 Note 2: Amended budget due to input error resolved in April OCM by \$4,000 to adjust to \$190,389.
Revenue from operating activities					
General Purpose Funding	136,390	25%	▲	Permanent	Income higher due to receipt of higher interest returns from Term Deposit investments.
Law, Order and Public Safety	(117,888)	(43%)	▼	Timing	Income lower due to timing of receipt of SES/ESL grants revenue
Health	(16,689)	(55%)	▼	Timing	Income lower due to earnings associated with inter-Shire Health Officer charge outs.
Education and Welfare	(444,004)	(19%)	▼	Timing	Income lower due to timing of CHSP /CHCP contrcat funding received versus actual outputs that have been renegotiated for 24/25. This variance is offset by
Recreation and Culture	(245,679)	(50%)	▼	Timing	Income lower due to Library grant revenue (LRCP 4) not being expended.
Transport	34,543	13%	▲	Timing	Income higher mainly due to receipt of the Main Roads WA operational grant funding received earlier than phasing in the budget.
Economic Services	(104,168)	(18%)	▼	Timing	Income lower due to the tourist and area promotion income (Monopoly Project) - this is offset by a nearly matching decrease in expenditure).
Expenditure from operating activities					
General Purpose Funding	86,485	23%	▲	Timing	Expenditure lower mainly due to timing variation to rates admin costs.
Law, Order and Public Safety	264,407	30%	▲	Timing	Expenditure lower mainly due to timing bushfire risk mitigation activities.
Health	95,694	34%	▲	Timing	Expenditure lower due to Health Officer vacancy at the beginning of the financial year resulting in lower salary and wage costs.
Education and Welfare	901,112	34%	▲	Timing	Lower expenditure mainly due to actual CHCP and CHSP service delivery outputs being lower than budgeted and consequently incurs a reduction in expenditure, as reflected above.
Community Amenities	345,456	24%	▲	Timing	Expenditure lower mainly due to timing of invoices from the waste collection contractor, lower salaries and wages in Town planning and timing of expenditure in Building Maintenance.
Recreation and Culture	721,925	17%	▲	Timing	Expenditure lower due to timing and phasing of some operating expenditure at NRLC and the timing of some Other Culture activities.
Transport	915,433	25%	▲	Timing	Variance due to timing of general road maintenance and other related maintenance expenditure
Other Property and Services	198,278	118%	▲	Timing	Variance mainly due to timing of admin overhead allocations and absorption of plant operating costs.
Capital Acquisitions	3,273,040	40%	▲	Timing	Expenditure for capital projects below actual. Timing issue as purchase orders submitted for projects.

KEY INFORMATION

▲ ▼ Indicates a variance between Year to Date (YTD) Budget and YTD Actual data as per the adopted materiality threshold.

▲ Favourable variance

▼ Unfavourable variance

This statement is to be read in conjunction with the accompanying Financial Statements and notes.

**MONTHLY FINANCIAL REPORT
FOR THE PERIOD ENDED 31 MAY 2024**

**MONTHLY SUMMARY
INFORMATION**

PREPARATION TIMING AND REVIEW

Date prepared: All known transactions up to reporting period.
Prepared by: Manager Corporate Services
Reviewed by: Executive Manager Corporate & Community Services

BASIS OF PREPARATION

REPORT PURPOSE

This report is prepared to meet the requirements of the *Local Government (Financial Management) Regulations 1996, Regulation 34*. Note: The statements and accompanying notes are prepared based on all transactions recorded at the time of preparation and may vary due to transactions being processed for the reporting period after the date of preparation.

BASIS OF ACCOUNTING

This statement comprises a special purpose financial report which has been prepared in accordance with Australian Accounting Standards (as they apply to local governments and not-for-profit entities and to the extent they are not in-consistent with the *Local Government Act 1995* and accompanying regulations), Australian Accounting Interpretations, other authoritative pronouncements of the Australian Accounting Standards Board, the *Local Government Act 1995* and accompanying regulations. Accounting policies which have been adopted in the preparation of this financial report have been consistently applied unless stated otherwise.

Except for cash flow and rate setting information, the report has been prepared on the accrual basis and is based on historical costs, modified, where applicable, by the measurement at fair value of selected non-current assets, financial assets and liabilities.

THE LOCAL GOVERNMENT REPORTING ENTITY

All Funds through which the Local Government controls resources to carry on its functions have been included in this statement. In the process of reporting on the local government as a single unit, all transactions and balances between those funds (for example, loans and transfers between Funds) have been eliminated.

SIGNIFICANT ACCOUNTING POLICIES

GOODS AND SERVICES TAX

Revenues, expenses and assets are recognised net of the amount of GST, except where the amount of GST incurred is not recoverable from the Australian Taxation Office (ATO). Receivables and payables are stated inclusive of GST receivable or payable. The net amount of GST recoverable from, or payable to, the ATO is included with receivables or payables in the statement of financial position. Cash flows are presented on a gross basis. The GST components of cash flows arising from investing or financing activities which are recoverable from, or payable to, the ATO are presented as operating cash flows.

CRITICAL ACCOUNTING ESTIMATES

The preparation of a financial report in conformity with Australian Accounting Standards requires management to make judgements, estimates and assumptions that effect the application of policies and reported amounts of assets and liabilities, income and expenses. The estimates and associated assumptions are based on historical experience and various other factors that are believed to be reasonable under the circumstances; the results of which form the basis of making the judgements about carrying values of assets and liabilities that are not readily apparent from other sources. Actual results may differ from these estimates.

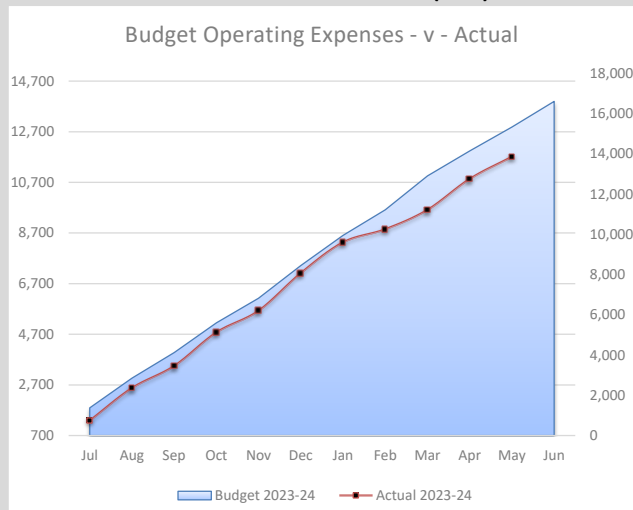
ROUNDING OFF FIGURES

All figures shown in this statement are rounded to the nearest dollar.

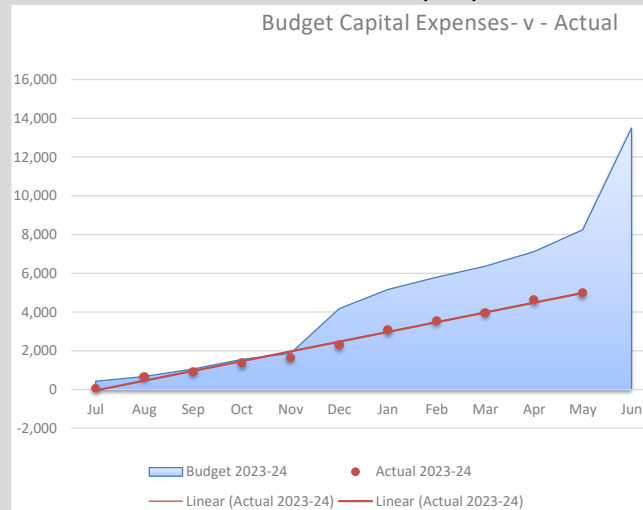
**MONTHLY FINANCIAL REPORT
FOR THE PERIOD ENDED 31 MAY 2024**

**MONTHLY SUMMARY INFORMATION
GRAPHS**

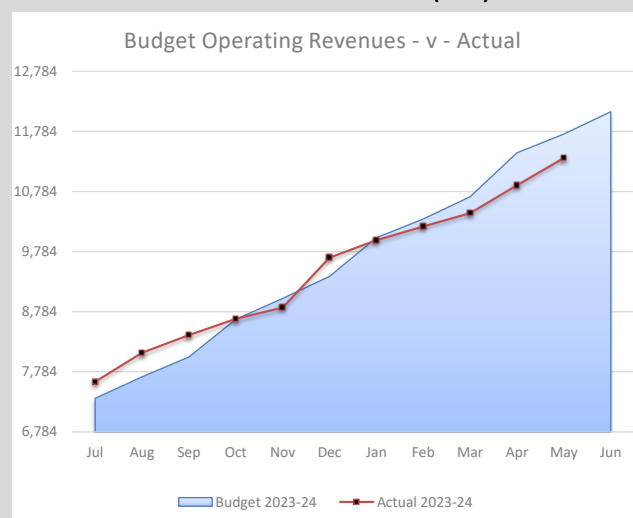
OPERATING EXPENSES ('000)



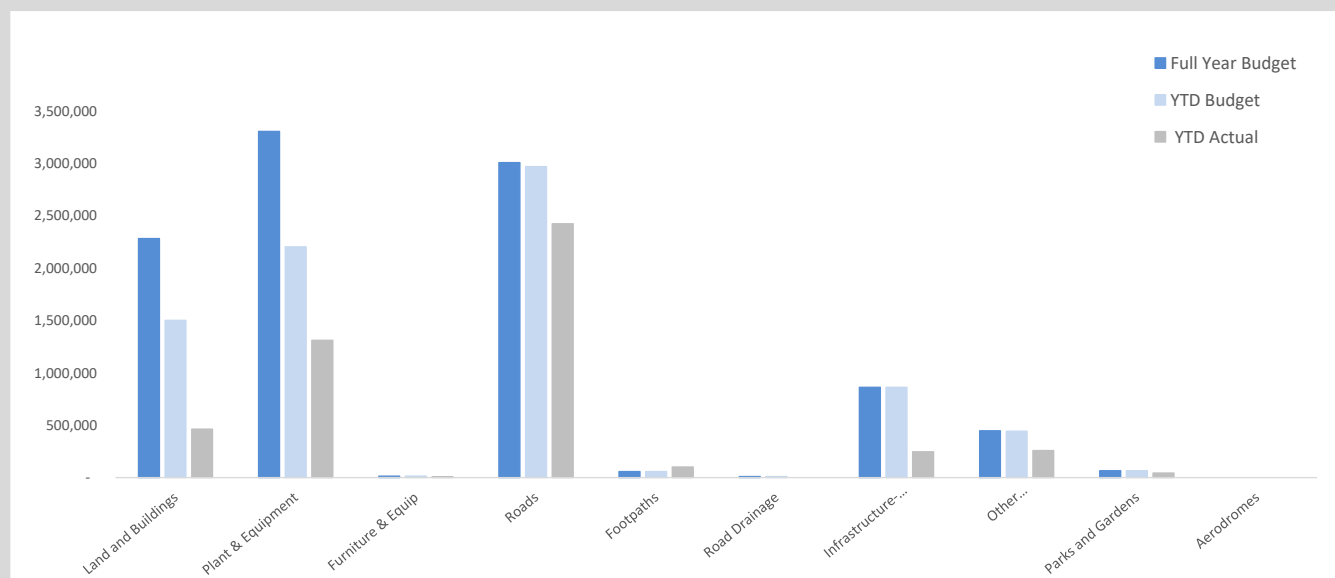
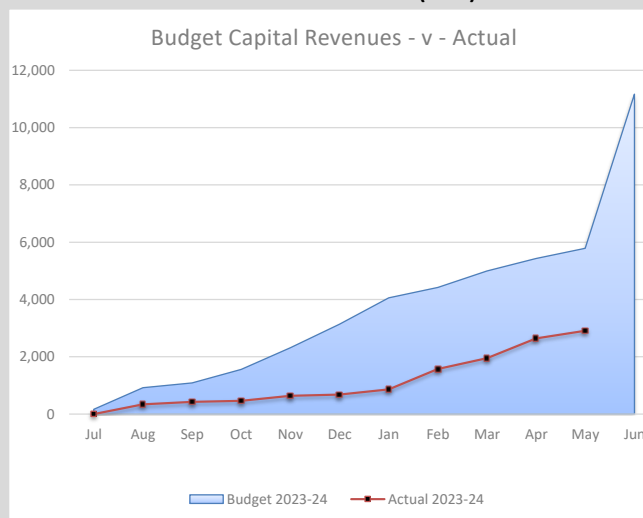
CAPITAL EXPENSES ('000)



OPERATING REVENUE ('000)



CAPITAL REVENUE ('000)



This information is to be read in conjunction with the accompanying Financial Statements and Notes.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 MAY 2024**

NET CURRENT ASSETS

SIGNIFICANT ACCOUNTING POLICIES

CURRENT AND NON-CURRENT CLASSIFICATION

In the determination of whether an asset or liability is current or non-current, consideration is given to the time when each asset or liability is expected to be settled. The asset or liability is classified as current if it is expected to be settled within the next 12 months, being the Local Government's operational cycle. In the case of liabilities where Local Government does not have unconditional right to defer settlement be settled within the next 12 months, defer settlement beyond 12 months, such as vested long service leave, the liability is classified as current, even if not expected to be settled within the next 12 months. Inventories held for trading are classified as current even if not expected to be realised in the next 12 months except, for land held for resale where it is held as non current based on the Local Government's intentions to release for sale.

EMPLOYEE BENEFITS

The provisions for employee benefits relates to amounts expected to be paid for long service leave, annual leave, wages and salaries and are calculated as follows:

(i) Wages, Salaries, Annual Leave and Long Service Leave (Short-term Benefits)

The provision for employees' benefits to wages, salaries, annual leave and long service leave expected to be settled within 12 months represents the amount the Local Government has a present obligation to pay resulting from employees services provided to balance date. The provision has been calculated at nominal amounts based on remuneration rates the Local Government expects to pay and includes related on-costs.

(ii) Annual Leave and Long Service Leave (Long-term Benefits)

The liability for long service leave is recognised in the provision for employee benefits and measured as the present value of expected future payments to be made in respect of services provided by employees up to the reporting date using the Project Unit Credit method. Consideration is given to expected future wage and salary levels, experience of employee departures and periods of service. Expected future payments are discounted using market yields at the reporting date on national government bonds with terms to maturity and currency that match as closely as possible, the estimated future cash outflows. Where the Local Government does not have the unconditional right to defer settlement beyond 12 months, the liability is recognised as a current liability.

PROVISIONS

Provisions are recognised when: The Local Government has a present legal or constructive obligation as a result of past events; it is more likely than not that an outflow of resources will be required to settle the obligation; and the amount has been reliably estimated. Provisions are not recognised for future operating losses. Where there are a number of similar obligations, the likelihood that an outflow will

be required in settlement is determined by considering the class of obligations as a whole. A provision is recognised even if the likelihood of an outflow with respect to any one of item included in the same class of obligations may be small.

INVENTORIES

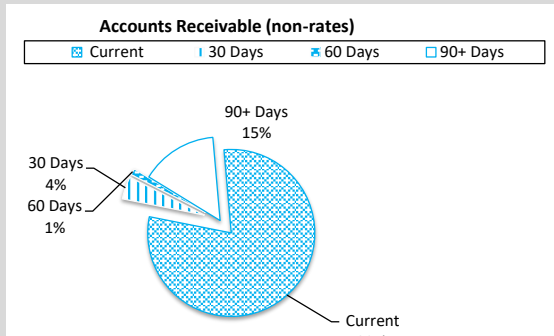
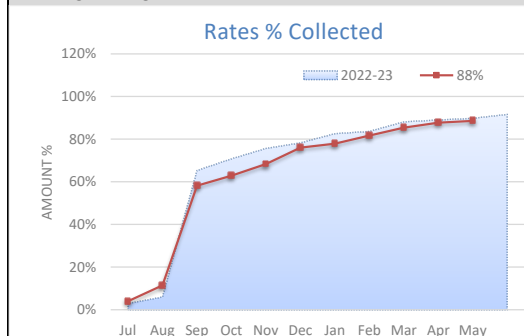
Inventories are measured at the lower of cost and net realisable value. Net realisable value is the estimated selling price in the ordinary course of business less the estimated costs of completion and the estimated costs necessary to make the sale.

NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 MAY 2024

OPERATING ACTIVITIES
RECEIVABLES

Rates Receivable	30 Jun 23	31 May 24	Receivables - General	Current	30 Days	60 Days	90+ Days	Total
	\$	\$		\$	\$	\$	\$	\$
Opening Arrears Previous Years	588,483	658,762	Receivables - General	321,520	17,652	5,077	60,161	404,410
RATES - Rates Levied - GRV	3,407,588	3,607,387	Percentage	79.5%	4.4%	1.3%	14.9%	
RATES - Rates Levied - UV	1,134,890	1,213,419						
RATES - Minimum Rates Levied - GRV	645,213	676,256						
RATES - Minimum Rates Levied - UV	229,673	255,535						
RATES - Interim Rates Levied - GRV	10,967	2,356						
RATES - Back Rates Levied - GRV	6,848	455						
RATES - Ex-Gratia Rates (CBH, etc.)	11,525	12,499						
Instalment Admin fee	33,275	37,054						
Private S/Pool Inspection fees	1,860	1,860						
Domestic Refuse Collection Charges	511,736	526,130						
Domestic Services (Additional)	4,457	5,155						
Domestic Recycling Service	184,084	194,128						
Domestic Recycling Service (additional)	182	284						
Commercial Collection Charge	46,905	49,196						
Commercial Collection Charge (additional)	47,376	50,100						
Non-Rateable Collection Charge	73,541	75,793						
Non-Rateable Additional Pick Up	37,338	38,831						
Commercial Additional Pick Up	25,741	27,563						
FESA ESL	296,485	306,176						
Total Rates and Rubbish (YTD)	6,413,884	7,080,177	GST Input					
Less Collections to date	(6,415,590)	(6,890,366)						
Net Rates Collectable	658,762	848,574	Total Receivables General Outstanding					404,410
% Collected (Current and Arrears)	91.62%	89.04%	Amounts shown above include GST (where applicable)					
Pensioner Deferred Rates		(196,583)						
Pensioner Deferred ESL		(8,986)	Provision For Doubtful Debts (including Rates)					(150,000)
Total Rates and Rubbish, ESL, Excess Rates		643,005						

KEY INFORMATION



Debtors Due
\$404,410
Over 30 Days
4.4%
Over 60 Days
1.3%
Over 90 Days
14.9%

Collected	Rates Due
89%	\$643,005

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 MAY 2024**

**OPERATING ACTIVITIES
ADJUSTED NET CURRENT ASSETS**

FOR THE PERIOD ENDED 31 MAY 2024

Current Assets

Cash Unrestricted - Muni
Cash Restricted - Reserves
Cash Restricted - Reserves Term Deposits
Cash Restricted - Muni Term Deposits
Cash Restricted - Trust Bonds & Deposits
Receivables - Rates and Rubbish, ESL, Excess Rates
Receivables - Other
Inventories

Less: Current Liabilities

Payables
Lease Liabilities
Loan Liability
Provisions

Net Current Asset Position

Less: Cash Restricted
Add Back: Component of Leave Liability not Required to be funded
Add Back: Current Loan Liability Current Portion of Lease Liability

Net Current Funding Position

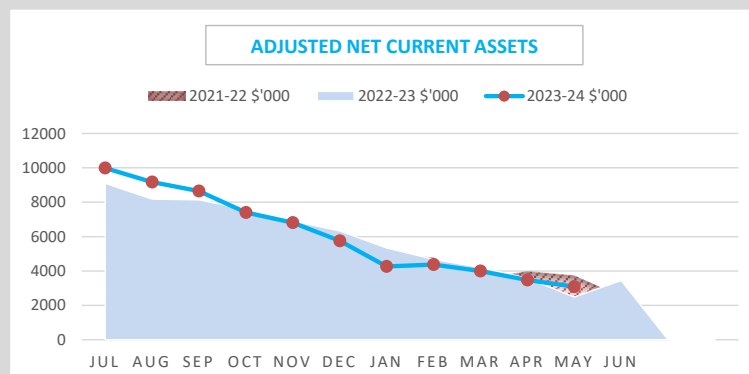
Last Years Closing 30 Jun 2023	This Time Last Year 31 May 2023	Year to Date Actual 31 May 2024
\$	\$	\$
4,307,622	2,596,699	2,878,036
212,117	1,397	1,484,965
5,119,305	5,048,699	4,000,000
0	0	0
20,019	20,076	17,072
453,194	509,833	643,005
426,404	226,933	610,740
19,832	35,780	31,270
10,558,492	8,439,417	9,665,088
(1,422,608)	(788,701)	(1,038,489)
(33,271)	(36,042)	(33,271)
(137,392)	(22,642)	(13,647)
(733,283)	(653,352)	(580,523)
(2,326,555)	(1,500,738)	(1,665,930)
8,231,937	6,938,679	7,999,158
(5,330,160)	(4,882,009)	(5,330,160)
371,710	361,204	371,710
137,392	22,642	13,647
33,271	36,042	33,271
3,444,151	2,476,558	3,087,626

SIGNIFICANT ACCOUNTING POLICIES

Please see page 5 for information on significant accounting policies relating to Net Current Assets.

KEY INFORMATION

The amount of the adjusted net current assets at the end of the period represents the actual surplus (or deficit if the figure is a negative) as presented on the Rate Setting Statement.



Year YTD Actual

Surplus(Deficit)

\$3.09 M

This Time Last Year

Surplus(Deficit)

\$2.48 M

NOTE: For the Cash Assets above the following investments have been made as at reporting date:

<u>Cash Restricted (Reserves)</u>	<u>Investment Value</u>	<u>Maturity Date</u>	<u>Rate</u>	<u>Institution</u>	<u>Investment %</u>
	\$				
NAB (Investment 1)	3,000,000	24/06/2024	4.20%	NAB	75%
NAB (Investment 2)	1,000,000	27/06/2024	4.20%	NAB	25%
Municipal Funds					
Total Cash Restricted (Reserves)	4,000,000				100%
Investment Summary					
NAB (Investment 1)	3,000,000				75%
NAB (Investment 2)	1,000,000				25%
Total Investment Summary	4,000,000				100%

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 MAY 2024**

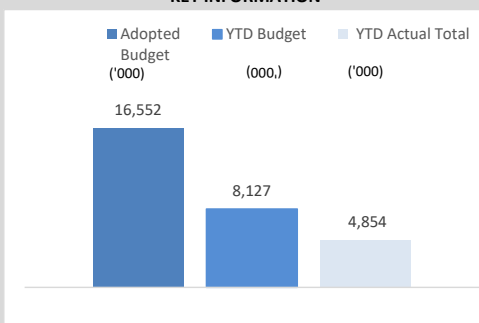
**INVESTING ACTIVITIES
CAPITAL ACQUISITIONS**

Capital Acquisitions	Adopted Budget	Current Budget	YTD Budget	YTD Actual Total	YTD Budget Variance
	\$	\$	\$	\$	\$
Land and Buildings	9,051,662	2,283,872	1,501,488	462,427	#VALUE!
Plant & Equipment	3,175,292	3,306,319	2,203,975	1,310,737	#VALUE!
Furniture & Equipment	13,200	13,200	13,200	7,200	#VALUE!
Roads	3,007,185	3,007,185	2,969,691	2,423,318	#VALUE!
Footpaths	58,000	58,000	58,000	100,880	#VALUE!
Road Drainage	10,000	10,000	10,000	0	#VALUE!
Infrastructure- Bridges	863,000	863,000	863,000	247,377	#VALUE!
Other Infrastructure	347,400	447,400	442,400	258,867	#VALUE!
Parks and Gardens	26,000	65,210	65,210	43,117	#VALUE!
Capital Expenditure Totals	16,551,739	10,054,186	8,126,964	4,853,924	#VALUE!

SIGNIFICANT ACCOUNTING POLICIES

All assets are initially recognised at cost. Cost is determined as the fair value of the assets given as consideration plus costs incidental to the acquisition. For assets acquired at no cost or for nominal consideration, cost is determined as fair value at the date of acquisition. The cost of non-current assets constructed by the local government includes the cost of all materials used in the construction, direct labour on the project and an appropriate proportion of variable and fixed overhead. Certain asset classes may be revalued on a regular basis such that the carrying values are not materially different from fair value. Assets carried at fair value are to be revalued with sufficient regularity to ensure the carrying amount does not differ materially from that determined using fair value at reporting date.

KEY INFORMATION



Acquisitions	Adopted Annual Budget	Current Budget	YTD Actual	% Spent
	\$16.55 M	\$10.05 M	\$4.85 M	48%

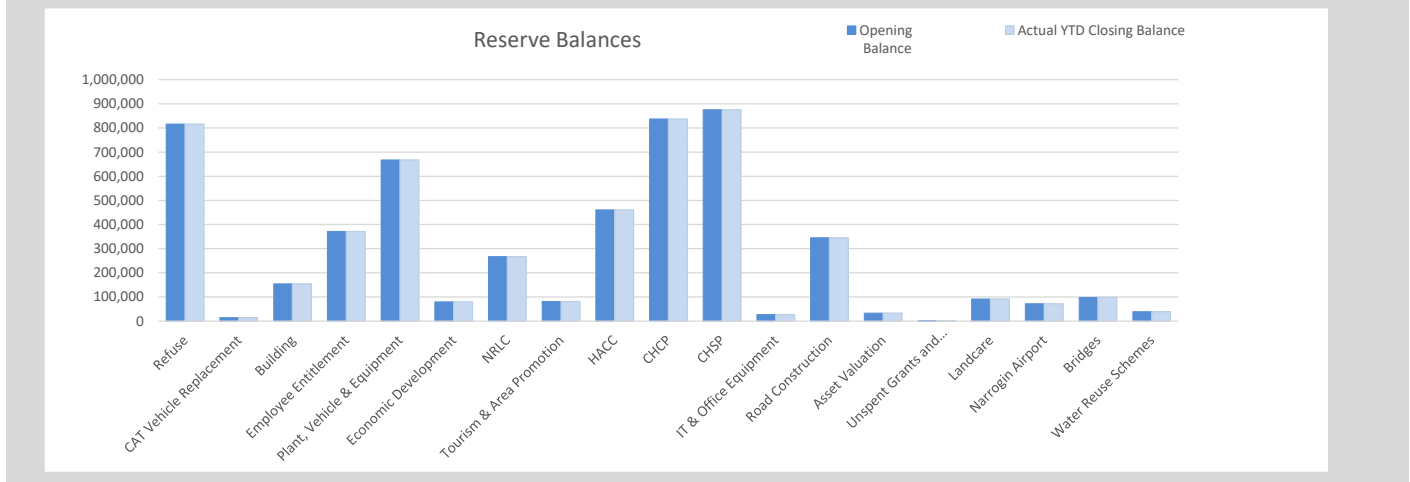
**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 MAY 2024**

**OPERATING ACTIVITIES
CASH AND INVESTMENTS**

Cash Backed Reserve

Reserve Name	Opening Balance	Current Budget Interest Earned	Actual Interest Earned	Current Budget Transfers In (+)	Actual Transfers In (+)	Current Budget Transfers Out (-)	Actual Transfers Out (-)	Current Budget Closing Balance	Actual YTD Closing Balance
	\$	\$	\$	\$	\$	\$	\$	\$	\$
Refuse	815,723	26,017	0	45,000	0	(169,777)	0	716,963	815,723
CAT Vehicle Replacement	14,040	448	0	0	0	(9,835)	0	4,653	14,040
Building	154,345	4,923	0	0	0	0	0	159,268	154,345
Employee Entitlement	371,710	11,855	0	0	0	(34,000)	0	349,565	371,710
Plant, Vehicle & Equipment	667,441	21,287	0	425,000	0	(827,301)	0	286,427	667,441
Economic Development	79,654	2,540	0	0	0	0	0	82,194	79,654
NRLC	267,389	8,528	0	100,000	0	0	0	375,917	267,389
Tourism & Area Promotion	80,942	2,582	0	0	0	(25,000)	0	58,524	80,942
HACC	460,249	14,679	0	0	0	(474,853)	0	75	460,249
CHCP	836,968	26,694	0	844,179	0	(1,191,319)	0	516,522	836,968
CHSP	875,903	27,936	0	1,517,256	0	(2,329,460)	0	91,635	875,903
IT & Office Equipment	27,218	868	0	0	0	0	0	28,086	27,218
Road Construction	345,348	11,015	0	0	0	0	0	356,363	345,348
Asset Valuation	32,826	1,047	0	0	0	0	0	33,873	32,826
Unspent Grants and Contributions	136	4	0	0	0	0	0	140	136
Landcare	91,813	2,928	0	0	0	(5,000)	0	89,741	91,813
Narrogin Airport	71,803	2,290	0	25,000	0	0	0	99,093	71,803
Bridges	98,134	3,130	0	48,000	0	0	0	149,264	98,134
Water Reuse Schemes	38,518	1,228	0	20,000	0	(37,775)	0	21,971	38,518
	5,330,160	170,000	0	3,024,435	0	(5,104,320)	0	3,420,275	5,330,160

KEY INFORMATION



**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 MAY 2024**

**BUDGET
AMENDMENTS**

Amendments to original budget since budget adoption. Surplus/(Deficit)

Date	GL / Job Number	GL Description	Description	Council Resolution	Schedule	Classification	Non Cash Adjustment	Increase in Available Cash	Decrease in Available Cash	Amended Budget Running Balance
27/09/2023	PE062	Caravan Park Photovoltaic System	Narrogin Caravan park - Solar Power (Photovoltaic System)	270923.03	13				(15,000)	(15,000)
27/09/2023	5130260	TOUR- Transfer From Reserves-Economic and Development Reserve	Narrogin Caravan park - Solar Power (Photovoltaic System)	270923.03	13			15,000		15,000
27/09/2023	IO165	Narrogin Tennis Court Lighting & Surface Upgrading	Narrogin Tennis Court Lighting & Surface Upgrading	270923.06	11				(39,210)	(39,210)
27/09/2023	5110340	REC - State Grants - LRCIP3	REC-State Grants-LRCIP3 GEN	270923.06	11			39,210		39,210
27/09/2023	5050240	SES Capital Grant	SES Capital Grant GEN	270923.06	5			62,210		62,210
27/09/2023	BC265	SES Training / Meeting Room	SES Training / Meeting Room	270923.06	5				(62,210)	(62,210)
27/09/2023	BC280	SES & BFB Joint Facilities	SES & BFB Joint Facilities	270923.06	5			6,800,000		6,800,000
27/09/2023	5050240	SES Capital Grant	SES Capital Grant GEN	270923.06	5				(6,800,000)	(6,800,000)
27/09/2023	IO136	Rail Heritage	Rail Heritage	270923.13	11				(75,000)	(75,000)
27/09/2023	5110670	HERITAGE- Contributions and Donations	Rail Heritage	270923.13	3			25,000		25,000
27/09/2023	3030200	GENGRANT - Financial Assistance Grant - General	Rail Heritage	270923.13	11			50,000		50,000
25/10/2023	5110860	OTHCUL-Transfer from Reservee-Tourism & Area Promotion Reserve	Public Art Strategy Implementation	251023.02	11			25,000		25,000
25/10/2023	IO113	Public Art Strategy - Implementation	Public Art Strategy Implementation	251023.02	14				(25,000)	(25,000)
25/10/2023	IO166	Electric Vehicle Charging Stations	Funding Electric Vehicle Charging Stations	251023.03	14				(36,027)	(36,027)
25/10/2023	5130650	ECONOM - Transfers From Reserve	Funding Electric Vehicle Charging Stations	251023.03	13			19,000		19,000
25/10/2023	5130640	ECONOM- Capital Grants-LRCIP3	Funding Electric Vehicle Charging Stations	251023.03	13			17,027		17,027
28/02/2024	3030301	Investment Interest Earned - Municipal Funds	Investment Interest Earned - Municipal Funds	280224.1	3			45,000		45,000
28/02/2024	3030200	GEN GRANT - Financial Assistance Grant - General	Financial Assistance Grants - General	280224.1	3			61,000		61,000
28/02/2024	2040210	OTH GOV - Audit Fees	Audit Fees	280224.1	4				(5,000)	(5,000)
28/02/2024	2040112	MEMBERS - Election Expenses	Election Expenses	280224.1	4			25,000		25,000
28/02/2024	2040226	OTHGOV - Valuation Expenses	Valuation Expenses	280224.1	4			7,000		7,000
28/02/2024	120703000	HEALTH - Salaries & Wages GEN	HEALTH - Salaries & Wages GEN (23/24)	280224.1	7			49,318		49,318
28/02/2024	PA065A	EHO Vehicle MG PHEV	EHO Vehicle MG PHEV	280224.1	7				(45,000)	(45,000)
28/02/2024	PD065A	Proceeds On Disposal EHO MG PHEV(P65)	Proceeds On Disposal EHO MG PHEV(P65)	280224.1	7			23,000		23,000
28/02/2024	2080502	CHSP - Workers Comp Insurance	CHSP - Workers Comp Insurance	280224.1	8			3,750		3,750
28/02/2024	2080503	CHSP - Allowances	CHSP - Allowances	280224.1	8				(2,600)	(2,600)
28/02/2024	2080504	CHSP - Training & Development	CHSP - Training & Development	280224.1	8			11,517		11,517
28/02/2024	2080513	CHSP - Information Systems	CHSP - Information Systems	280224.1	8			10,110		10,110
28/02/2024	2080421	CHCP - Insurance (Other than Bldgs & W/Comp)	CHCP - Insurance (Other than Bldgs & W/Comp)	280224.1	8				(10,558)	(10,558)
28/02/2024	2080521	CHSP - Insurance (Other than Bldgs & W/Comp)	CHSP - Insurance (Other than Bldgs & W/Comp)	280224.1	8			14,267		14,267
28/02/2024	2080531	CHSP - Building Water	CHSP - Building Water	280224.1	8			5,702		5,702
28/02/2024	2080431	CHCP - Building Water	CHCP - Building Water	280224.1	8				(5,702)	(5,702)
28/02/2024	2080533	CHSP - Building Maintenance	CHSP - Building Maintenance	280224.1	8			4,068		4,068
28/02/2024	2080433	CHCP - Building Maintenance	CHCP - Building Maintenance	280224.1	8				(4,067)	(4,067)
28/02/2024	2080532	CHSP - Building Insurance	CHSP - Building Insurance	280224.1	8			1,484		1,484
28/02/2024	2080432	CHCP - Building Insurance	CHCP - Building Insurance	280224.1	8				(976)	(976)
28/02/2024	2080536	CHSP-Clinical Governance	CHSP-Clinical Governance	280224.1	8				(11,000)	(11,000)
28/02/2024	2080436	CHCP-Medical Supplies	CHCP-Medical Supplies	280224.1	8				(5,000)	(5,000)
28/02/2024	2080763	CHCP - General Expenses	CHCP - General Expenses	280224.1	8				(2,000)	(2,000)
28/02/2024	2080590	CHSP - Refund of Unspent Grant Funding	CHSP - Refund of Unspent Grant Funding	280224.1	8				(309,000)	(309,000)
28/02/2024	5080452	CHCP - Transfers From Reserve	CHCP - Transfers From Reserve	280224.1	8			309,000		309,000
28/02/2024	5080452	CHCP - Transfers From Reserve	CHCP - Transfers From Reserve	280224.1	8			16,802		16,802

Date	GL / Job Number	GL Description	Description	Council Resolution	Schedule	Classification	Non Cash Adjustment	Increase in Available Cash	Decrease in Available Cash	Amended Budget Running Balance
28/02/2024	PD044	CHCP - Proceeds On Disposal	Proceeds On Disposal - Ngn839 Toyota Corolla 2019	280224.1	8				(8,000)	(8,000)
28/02/2024	PD013	CHCP - Disposal Proceeds	Disposal Proceeds-Ngn15333 Mazda Bt-50 4X2	280224.1	8				(12,000)	(12,000)
28/02/2024	PD010C	CHCP - Proceeds On Disposal	Proceeds On Disposal - Ngn847 Mazda Cx5	280224.1	8				(2,000)	(2,000)
28/02/2024	PA014G	AGEDOTHER Capital Expenditure	Ngn219 Cats Vehicle 2020	280224.1	8				(35,000)	(35,000)
28/02/2024	PD014G	AGEDOTHER Proceeds On Disposal Of Assets	Ngn2019G 2020 Proceeds On Disposal Of Assets	280224.1	8			16,000		16,000
28/02/2024	3080711	AGEDOTHER - CATS	Aged Contributions and Donations	280224.1	8			5,000		5,000
28/02/2024	5080755	AGEDOTHER - Transfer from Reserves	Aged & Disability - Other - Transfer from Reserves	280224.1	8			9,835		9,835
28/02/2024	3100204	SANOTH - Non Rateable Collection Charge	Sanitation - Other	280224.1	10				(30,777)	(30,777)
28/02/2024	5100150	SAN - Transfer from Reserve	SAN Other - Transfer from Reserve	280224.1	10			30,777		30,777
28/02/2024	2110830	OTHCUL - Artwork Collection	OTHCUL - Artwork Collection	280224.1	11				(10,000)	(10,000)
28/02/2024	2110802	OTHCUL - Grants - Other Culture	OTHCUL - Grants - Other Culture	280224.1	11			9,000		9,000
28/02/2024	2110224	NRLC - Equipment Hire & Purchases	NRLC - Equipment Hire & Purchases	280224.1	11				(60,000)	(60,000)
28/02/2024	2110265	NRLC - Contract Management Expense	NRLC - Contract Management Expense	280224.1	11				(150,000)	(150,000)
28/02/2024	2110206	NRLC - Recruitment	NRLC - Recruitment	280224.1	11				(3,500)	(3,500)
28/02/2024	2110218	NRLC - Postage & Freight	NRLC - Postage & Freight	280224.1	11				(1,500)	(1,500)
28/02/2024	2110235	NRLC - Building Structural Maintenance	NRLC - Building Structural Maintenance	280224.1	11				(5,000)	(5,000)
28/02/2024	PE085	NRLC - Plant & Equipment	NRLC - Architectural Concept Planning	280224.1	11				(6,000)	(6,000)
28/02/2024	PE079	NRLC - Plant & Equipment	NRLC - Fire Panel	280224.1	11			50,000		50,000
28/02/2024	PE086	NRLC - Plant & Equipment	NRLC - Basketball Courts Swing Down Backboards	280224.1	11				(8,000)	(8,000)
28/02/2024	PE084	NRLC - Plant & Equipment	NRLC - Upgrade Works	280224.1	11				(36,000)	(36,000)
28/02/2024	3110305	REC - Reimbursements - Other Recreation	REC - Reimbursements - Other Recreation	280224.1	11			5,706		5,706
28/02/2024	3110102	HALLS - Lease/Rental Income	HALLS - Lease/Rental Income	280224.1	11			13,368		13,368
28/02/2024	121105000	LIB - Salaries & Wages GEN	LIB - Salaries & Wages GEN (23/24)	280224.1	11			41,476		41,476
28/02/2024	2110519	LIB - Lost Books	LIB - Lost Books	280224.1	11				(1,000)	(1,000)
28/02/2024	W060	REC - Parks & Gardens Maintenance /Operations	Memorial Park Maintenance/Operations	280224.1	11			4,113		4,113
28/02/2024	2120200	ROADM - Road Maintenance	Roads General Maintenance	280224.1	11			50,000		50,000
28/02/2024	W061	REC - Parks & Gardens Maintenance /Operations	Lions Park Maintenance/Operations	280224.1	11				(1,870)	(1,870)
28/02/2024	W062	REC - Parks & Gardens Maintenance /Operations	Mackie Park Maintenance/Operations	280224.1	11			4,444		4,444
28/02/2024	W063	REC - Parks & Gardens Maintenance /Operations	Gnarojin Park Maintenance/Operations	280224.1	11			13,106		13,106
28/02/2024	W064	REC - Parks & Gardens Maintenance /Operations	Sydney Hall Park Maintenance/Operations	280224.1	11				(1,384)	(1,384)
28/02/2024	W065	REC - Parks & Gardens Maintenance /Operations	Narrogin Skate Park	280224.1	11				(3,317)	(3,317)
28/02/2024	W066	REC - Parks & Gardens Maintenance /Operations	Highbury Townsite Park Maintenance/Operations	280224.1	11				(4,880)	(4,880)
28/02/2024	W067	REC - Parks & Gardens Maintenance /Operations	Grace Menzies Park - Maintenance/Operations	280224.1	11				(5,136)	(5,136)
28/02/2024	W068	REC - Parks & Gardens Maintenance /Operations	Maggie McKenzie Park - Maintenance/Operations	280224.1	11				(293)	(293)
28/02/2024	W069	REC - Parks & Gardens Maintenance /Operations	Kelliher Park - Maintenance/Operations	280224.1	11				(7,213)	(7,213)
28/02/2024	W074	REC - Parks & Gardens Maintenance /Operations	Bushalla Park - Maintenance/Operations	280224.1	11				(2,953)	(2,953)
28/02/2024	W075	REC - Parks & Gardens Maintenance /Operations	Apex Park - Maintenance/Operations	280224.1	11				(3,681)	(3,681)
28/02/2024	W076	REC - Parks & Gardens Maintenance /Operations	Nippa Humes Park - Maintenance/Operations	280224.1	11				(4,045)	(4,045)
28/02/2024	W077	REC - Parks & Gardens Maintenance /Operations	James Park - Maintenance/Operations	280224.1	11				(5,136)	(5,136)
28/02/2024	W078	REC - Parks & Gardens Maintenance /Operations	Bpw Park - Maintenance/Operations	280224.1	11				(2,589)	(2,589)
28/02/2024	W079	REC - Parks & Gardens Maintenance /Operations	Cbd Parks - Maintenance/Operations	280224.1	11				(34,633)	(34,633)
28/02/2024	W153	REC - Parks & Gardens Maintenance /Operations	30 Gray St Garden Maintenance	280224.1	11				(750)	(750)
28/02/2024	W154	REC - Parks & Gardens Maintenance /Operations	Alby Park Maintenance/Operations	280224.1	11				(4,451)	(4,451)
28/02/2024	W070	REC - Town Oval Maintenance / Operations	Thomas Hogg Oval Maintenance/Operations	280224.1	11				(4,853)	(4,853)
28/02/2024	W071	REC - Town Oval Maintenance / Operations	Clayton Oval Maintenance/Operations	280224.1	11			8,268		8,268

Date	GL / Job Number	GL Description	Description	Council Resolution	Schedule	Classification	Non Cash Adjustment	Increase in Available Cash	Decrease in Available Cash	Amended Budget Running Balance
28/02/2024	W072	REC - Town Oval Maintenance / Operations	Michael Brown Park Maintenance/Operations	280224.1	11				(1,819)	(1,819)
28/02/2024	W083	REC - Town Oval Maintenance / Operations	Hardie Park - Maintenance/Operations	280224.1	11				(9,138)	(9,138)
28/02/2024	W080	REC - Sundry Dry Parks/Reserves/Maintenance/Operations	Sundry Dry Parks/Reserves Maintenance/Operations	280224.1	11				(34,348)	(34,348)
28/02/2024	W086	REC - Sundry Dry Parks/Reserves/Maintenance/Operations	BMX Park	280224.1	11				(5,818)	(5,818)
28/02/2024	5120352	PLANT - Transfers from Reserve	PLANT - Transfers from Reserve	280224.1	12				(53,000)	(53,000)
28/02/2024	PD8218	PLANT - Proceeds from Disposal of Assets	Proceeds from Disposal of Jet Patcher	280224.1	12			75,731		75,731
28/02/2024	BM254	ECONOM - Building Maintenance	39 Federal Street Building Maintenance	280224.1	13				(13,000)	(13,000)
28/02/2024	BM255	ECONOM - Building Maintenance	45 Federal Street Building Maintenance	280224.1	13				(10,000)	(10,000)
28/02/2024	2130200	TOUR - Public Relations & Area Promotion	TOUR - Public Relations & Area Promotion	280224.1	13			9,580		9,580
28/02/2024	2130201	TOUR - Subscriptions & Memberships	TOUR - Subscriptions & Memberships	280224.1	13				(9,580)	(9,580)
28/02/2024	2130216	DCVC - (Visitors Centre) Other Expenditure	DCVC - (Visitors Centre) Other Expenditure	280224.1	13				(500)	(500)
28/02/2024	3130206	DCVC - Sales GEN)	DCVC - Sales	280224.1	13			6,000		6,000
28/02/2024	121303000	BUILD - Salaries & Wages GEN (23/24)	BUILD - Salaries & Wages GEN (23/24)	280224.1	13			160,569		160,569
28/02/2024	2140232	PWO - Information Systems	PWO - Information Systems	280224.1	14				(11,000)	(11,000)
28/02/2024	2140235	PWO - Subscriptions & Memberships	PWO - Subscriptions & Memberships	280224.1	14				(3,200)	(3,200)
28/02/2024	2140517	ADMIN - Insurances (Other than Bld and W/Comp)	ADMIN - Insurances (Other than Bld and W/Comp)	280224.1	14				(8,110)	(8,110)
28/02/2024	2140523	ADMIN - Information Systems	ADMIN - Information Systems	280224.1	14				(68,600)	(68,600)
28/02/2024	3140505	ADMIN - Reimbursements	ADMIN - Reimbursements	280224.1	14			12,800		12,800
28/02/2024	121406000	COMMUNITY - Salaries & Wages GEN (23/24)	COMMUNITY - Salaries & Wages GEN (23/24)	280224.1	14			14,932		14,932
28/02/2024	121405000	ADMIN - Salaries & Wages GEN (23/24)	ADMIN - Salaries & Wages GEN (23/24)	280224.1	14			200,533		200,533
28/02/2024	121402150	PWO - WORKS - Wages Administration Hours GEN	PWO - WORKS - Wages Administration Hours GEN	280224.1	14				(52,854)	(52,854)
28/02/2024	N/A	Opening Funding Surplus as at 01/07/2023	Adjustment in accordance with AFS 21 Dec 2023	280224.1	2				(26,040)	(26,040)
28/02/2024	BC283	ECONOM - Building Capital	Westpac Roof Replacement	280224.1	11			30,000		30,000
		ADMIN - Salaries & Wages GEN (23/24)	ADMIN - Salaries & Wages GEN (23/24)	240424.1	14				(4,000)	(4,000)
								8,410,703	(8,220,318)	190,385

Strategic Budget Projects Register 2023/24



AS AT 17 JUNE 2024

Project Title/Task	COA	Job	Original Budget	Current Budget	Actual Exp / Income to 17/06/24	Outstanding PO Exp to 17/06/24	Total Committed Expenditure or Income Received	Budget Remaining (incl P/Os)	Current Risk of completion by 30/6. H=Unlikely	Comments	Accountability	Status	% Complete	Start Date	Due Date
Projects that are either strategic (plans/projects) or critical to implement and manage or of an asset renewal or creation (Capital) in nature that have a budget provision in the current Budget.			UV Code? To be added manually Copy/paste.. A	UV Code? To be added manually Copy/paste.. B	UV Code? To be added manually Copy/paste.. C	UV Code? To be added manually Copy/paste.. D	Calc column (do not enter) E (E= C + D)	Calc column (do not enter) F (B - E)		Crisp, Clear, Concise, Date format entry eg 13/7 - Project commenced and no issues expected.	Select from one of the 4 Departments	- On Track - Off Track - Complete - In Trouble - On Hold		Anticipated start date of the Project	Anticipated completion date of the Project
SES Building Project	4050260	BC265	\$0.00	\$62,210.00	\$3,350.00	\$3,377.28	\$6,727.28	\$55,482.72	Medium	Allocation to be used for the design and construction and Tender documentation. Concept design prepared by Joondalup Design and estimated quote received for submission to LGGS capital grant. Once funding approved a detail design and construction documentation will be sought for tender purposes. 20/09/23 - Request the repurposing of this funding via Budget amendment to utilise funds for grant submission (preparatory work.), for September OCM. 3/10/23 - No change to status. Joint SES and BFB facilities funding was not successful. Application to be reviewed to remove reference to IC 3 office space. 7/11/23 - CEO and Shire President meeting with DFES Commissioner to discuss options and to move this project forward. 2/1/24 - Subdivision application for the respective lots (DFES/SON/St John) in progress. 27/2/24 - No change to status. 16/4/24 - LGGS funding submitted 28 March 2024. 1/5/24 - Waiting for the outcome to the capital grant funding. 4/6/24 - No change to status.	Development & Regulatory Services	Off Track	50%	01/07/23	30/06/24
Construction of SES & BFB Joint Facilities	4050260	BC280	\$6,800,000.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	Medium	Grant Application not supported by DFES LGGS annual 2023/2024 funding. 3/10/23 - Application to be reviewed and concept plan to be amended to remove any reference to IC 3 office space and solely for SES and BFB joint facilities. 7/11/23 - CEO and Shire President meeting with DFES Commissioner to discuss options for funding. 2/1/24 - Subdivision of land progressing	Development & Regulatory Services	Off Track	100%	01/07/23	30/06/24
Mobile Standpipe - BFB (Fast Fill Trailer) Nomans Lake VBFB	4050155	PA953	\$8,000.00	\$8,000.00	\$8,000.00	\$0.00	\$8,000.00	\$0.00	Completed	PO Issued. 15/11/23 - Fast Fill Trailer delivers to Norman's Lake Brigades. 22/2/24 - GJ to bring to account the donated asset required at value per DFES advice.	Development & Regulatory Services	Complete	100%	01/11/23	31/05/24
NGN417 2020 Mazda BT-50 4x4 (RANGER)	4050355	PA007E	\$35,000.00	\$35,000.00	\$44,806.73	\$0.00	\$44,806.73	-\$9,806.73	Completed	PO Issued 7/11/23 - Manager Operations following up with the car yards regarding delivery dates. 2/1/24 - Still waiting for delivery of vehicle. 27/2/24 - vehicle delivered.	Development & Regulatory Services	Complete	100%	01/09/23	29/03/24
NGN00 2021 Toyota Kluger (EMDRS)	4050355	PA002O	\$55,000.00	\$55,000.00	\$56,028.00	\$0.00	\$56,028.00	-\$1,028.00	Completed	PO Issued 3/10/23 - Vehicle delivered on 29 September 2023.	Development & Regulatory Services	Complete	100%	01/09/23	29/03/24
Senior Rangers 2020 Isuzu Replacement	4050355	PA8163C	\$55,892.00	\$55,892.00	\$59,564.99	\$0.00	\$59,564.99	-\$3,672.99	Completed	PO Issued 3/10/23 - vehicle delivered.	Development & Regulatory Services	Complete	100%	01/09/23	29/03/24
Additional Public CCTV Cameras (Subject to Grant)	4050455	FE037	\$100,000.00	\$100,000.00	\$0.00	\$0.00	\$0.00	\$100,000.00	Medium	Grant identified for application open now and closing 11 October 2023 19/10/23 - Grant criteria prevents CCTV applications, exploring grant opportunities ongoing. 4/12/23 - Exploring grant opportunities. 21/02/24 - No further update. 20/03/24 - NFTR 18/04/24 - NFTR 15/05/24 - No grant opportunities and project identified as a likely carry over for 24/25. 15/06/24 - No change to status	Corporate & Community Services	Off Track	0%	27/07/23	30/06/24
Mobile Stand Pipe - BFB (Fast Fill Trailer) Highbury South VBFB	4050155	PA953	\$8,000.00	\$8,000.00	\$0.00	\$8,000.00	\$8,000.00	\$0.00	Low	PO issued. 17/11/23 - With fabricator to complete. 2/1/24 - To be completed by May 2024. 27/2/24 - No change to status. 1/5/24 - No change to status. 4/6/24 - waiting to be completed by fabricator.	Development & Regulatory Services	Off Track	10%	01/11/23	30/06/24
Acquisition of Incident Control Vehicle	4050255	PA950	\$881,900.00	\$881,900.00	\$0.00	\$0.00	\$0.00	\$881,900.00	Low	Waiting for shop fabrication and delivery will be delayed due to long waiting process. 3/10/2023 - No change to status. 7/11/2023 - response from DFES stating no change to status and is still approximately 18 months away. Still in the concept stage. 2/1/24 - No change to status. 27/2/24 - No change to status. 16/4/24 - No change to status 1/5/24 - no change to status 4/6/24 - No change to status	Development & Regulatory Services	Off Track	0%	01/09/23	30/06/24
Acquisition of General Rescue Utility Vehicle	4050255	PA951	\$110,200.00	\$110,200.00	\$0.00	\$0.00	\$0.00	\$110,200.00	Low	Waiting for shop fabrication and delivery will be delayed due to long waiting process. 3/10/23 - No change to status. 7/11/23 - response from DFES stating no change to status and is still approximately 18 months away. Still in the concept stage. 2/1/24 - No change to status. 27/2/24 - No change to status 16/4/24 - No change to status 1/4/24 - No change to status 4/6/24 - No change to status	Development & Regulatory Services	Off Track	0%	01/09/23	30/06/24
Replacement EHO Vehicle PHEV		PA065A	\$0.00	\$45,000.00	\$0.00	\$0.00	\$0.00	\$45,000.00	Completed	20/03/24 - Determination to be made regarding purchase once EHS is recruited and in the meantime, transfer proceeds (\$23k) for old MG PHEV (written off) to reserves at 30/06/24	Development & Regulatory Services	Complete	100%	01/01/24	30/05/24
Homecare - Special Needs Dining Chairs	4080450	PE082	\$7,200.00	\$7,200.00	\$7,200.00	\$0.00	\$7,200.00	\$0.00	Completed	Items Purchased.	Corporate & Community Services	Complete	100%	27/07/23	29/02/24
Homecare Fleet Replacement - Toyota Corolla 2019 NGN839	4080455	PA044	\$35,000.00	\$35,000.00	\$32,613.00	\$0.00	\$32,613.00	\$2,387.00	Completed	RFQ for vehicle issued 31/08/23 19/10/23 - Quotes to be reviewed on MCYS Return from AL 14/11/23 - Progressing the acquisition of this vehicle. 04/12/23 - In Progress 21/02/24 - Order pending confirmation. 20/03/24 - NFTR 2/4/24 - Vehicle awaiting delivery. 18/04/24 - Vehicle delivered.	Corporate & Community Services	Complete	100%	27/07/23	30/05/24

Project Title/Task	COA	Job	Original Budget	Current Budget	Actual Exp / Income to 17/06/24	Outstanding PO Exp to 17/06/24	Total Committed Expenditure or Income Received	Budget Remaining (incl P/Os)	Current Risk of completion by 30/6. H=Unlikely	Comments	Accountability	Status	% Complete	Start Date	Due Date
Homecare - Purchase of Wheelchair accessible vehicle	4080455	PA045	\$105,000.00	\$105,000.00	\$0.00	\$0.00	\$0.00	\$105,000.00	Completed	RFQ for vehicle issued 31/08/23 14/11/23 - Progressing the acquisition of this vehicle. 04/12/23 - In Progress 21/02/24 - No further update at this time. 20/03/24 - NFTR 18/04/24 - NFTR 10/5/2024 NFTR 14/05/24 - Acquisition of vehicle unlikely in 24/25. Evaluating vehicle requirement whilst reviewing alternative business models.	Corporate & Community Services	Off Track	25%	27/07/23	30/06/24
Homecare - Replacement Home Maintenance Trailer	4080455	PA555	\$15,000.00	\$15,000.00	\$10,500.00	\$0.00	\$10,500.00	\$4,500.00	Completed	RFQ for vehicle issued 31/08/24. 19/10/23 - Trailer on order 14/11/23 - Awaiting delivery. 4/12/23 - Still awaiting delivery. 21/02/24 - No further update at this time. 20/03/24 - NFTR 2/4/24 - Trailer construction complete - awaiting delivery. 18/04/24 - Trailer delivered.	Corporate & Community Services	Complete	100%	27/07/23	30/05/24
Homecare - Replacement of NGN 15333 - Mazda BT50 Utility 4x2	4080455	PA013	\$35,000.00	\$35,000.00	\$37,302.71	\$0.00	\$37,302.71	-\$2,302.71	Completed	RFQ for vehicle issued 31/08/23 19/10/23 - Quotes to be reviewed on MCYS Return from AL 14/11/23 - Progressing the acquisition of this vehicle. 04/12/23 - In Progress 21/02/24 - No further update at this time 20/03/24 - Awaiting delivery. 18/04/24 - Still awaiting delivery. 10/5/24 - Advised end May delivery 30/5/2024 Vehicle delivered. Invoice submitted.	Corporate & Community Services	Complete	100%	27/07/23	30/05/24
Homecare - Replacement of NGN847 - Mazda CX-5	4080455	PA010C	\$48,000.00	\$48,000.00	\$41,809.00	\$0.00	\$41,809.00	\$6,191.00	Completed	RFQ for vehicle issued 31/08/23 19/10/23 - Quotes to be reviewed on MCYS Return from AL 14/11/23 - Progressing the acquisition of this vehicle. 04/12/23 - In Progress 21/02/24 - Vehicle delivered, payment being processed. 20/03/24 - Processing payment but car replaced and delivered. 18/04/24 - Project complete.	Corporate & Community Services	Complete	100%	27/07/23	30/05/24
CATs - Replacement of NGN 219 2020		PA014G	\$0.00	\$35,000.00	\$0.00	\$33,235.00	\$33,235.00	\$1,765.00	Completed	20/03/24 - Quotes received and being processed. 18/04/24 - Car on order 15/05/24 - Car collected on the 15 May 24. Project completed bar the final payment and trade.	Corporate & Community Services	Complete	100%	28/02/24	30/05/24
Design & Construction new liquid waste ponds	4100165	IO188	\$35,000.00	\$35,000.00	\$0.00	\$0.00	\$0.00	\$35,000.00	Low	3/10/23 - MEHS met with design consultant and will review design options. 2/1/24 - MEHS waiting for quotes from the consultant for the Design and Construct. 1/5/24 - With MEHS for quotes with the consultant 19/06/24 - To be carried forward to 24/25	Development & Regulatory Services	Off Track	10%	01/11/23	30/06/24
Asbestos Disposal Trench Fencing	4100165	IO189	\$12,000.00	\$12,000.00	\$6,140.00	\$0.00	\$6,140.00	\$5,860.00	Completed	3/10/23 - Quotes received to be assessed by MEHS 7/11/23 - fence acquired and contractor completing works. Should be completed by early December 2023.	Development & Regulatory Services	Complete	100%	29/09/23	30/11/23
Tip Face Fencing (Temporary/ Mobile Fencing)	4100165	IO191	\$42,000.00	\$42,000.00	\$19,485.00	\$0.00	\$19,485.00	\$22,515.00	Completed	3/10/23 - Quotes received and to be assessed by MEHS 7/11/23 - Po issued to contractor for supply and installation.	Development & Regulatory Services	Complete	100%	31/10/23	30/11/23
Construction of Recycling Shed (Tip Shop)	4100160	BC274	\$50,000.00	\$50,000.00	\$0.00	\$0.00	\$0.00	\$50,000.00	Low	3/10/23 - MEHS working with CDO regarding funding application. 7/11/23 - waiting for outcome to grant funding. 2/1/24 - No change to status. 27/2/24 - no change to status 16/4/24 - No change to status with Ben, John W and Peter to proceed with project. 1/5/24 - Waiting for decision from relevant officers. 20/6/24 - No change to status from the relevant officers.	Development & Regulatory Services	Off Track	10%	03/11/23	30/06/24
Thomas Hogg Sewerage Work	4100850	BC285	\$10,000.00	\$10,000.00	\$0.00	\$0.00	\$0.00	\$10,000.00	Low	15/11/23 - Building Maintenance officer liaising with local plumber, water corporation and lessee of option to connection to local sewer. 27/2/24 - Building maintenance officer followed up with applicant and local contractor for commencement date. 20/6/24 - Building maintenance having difficulty to get local plumber to undertake the works.	Development & Regulatory Services	Off Track	10%	06/11/23	30/06/24
Thomas Hogg Ablutions Upgrade and Contribution	4100850	BC177	\$25,000.00	\$25,000.00	\$0.00	\$20,681.00	\$20,681.00	\$4,319.00	Low	PO issued to Thomas Hogg/ eagle club as per the agreed works with Building Maintenance officer. 7/11/23 - works to commence after Revheads event in November 2023. 27/2/24 - Building maintenance officer followed up with applicant and local contractor for commencement date. 20/6/2024 - Eagles Sporting club has not commenced any further works as they are looking at getting grants to upgrade the building.	Development & Regulatory Services	Off Track	10%	01/09/23	28/06/24
Railway Dam ECO Toilets	4100850	BC281	\$21,145.00	\$21,145.00	\$2,940.00	\$8,776.92	\$11,716.92	\$9,428.08	Low	Waiting for the ablation unit to be completed and transported on the site. 7/11/23 - Ablution block to be transported to site in Mid-November. 2/1/23 - To be completed end of January mid February . 27/2/24 - work had to be rectified by contractor 16/4/24 - Structure installed and clad. Flashings required to be completed. Plumbing works to follow. 20/6/24 - Septic tank installed. Walkway screened to be installed for completion of project.	Development & Regulatory Services	On Track	50%	03/07/23	30/06/24
Mackie Park Financial Counselling Kitchenette	4100850	BC130	\$8,000.00	\$8,000.00	\$8,000.00	\$0.00	\$8,000.00	\$0.00	Completed	3/10/23 - works underway organised by Narrogin Financial Counselling. 2/1/24 - To be completed end of January mid February.	Development & Regulatory Services	Complete	100%	01/11/23	01/02/24
Development and Regulatory Services Pool Vehicle	4100655	PA074	\$30,000.00	\$30,000.00	\$27,273.00	\$0.00	\$27,273.00	\$2,727.00	Completed	Purchase outright the Bush Fire Control Officer vehicle. Now allocated to the building Maintenance Officer	Development & Regulatory Services	Complete	100%	01/08/23	01/09/23
Cemetery Software - Chronicle	4100860	PE083	\$25,000.00	\$25,000.00	\$24,123.00	\$0.00	\$24,123.00	\$877.00	Completed	P/O issued to Chronical, ESO progressing implementation. 19/9/23 second payment made. 3/10/23 No further update. ESO received progress report, estimated completion mid November. 15/11/23 Completion handover process booked for 20 November, then Cemetery digitisation project should be complete. 29/11/23 final synchronisation happening. Niche wall service being added should be complete early January. 12/12/23 Niche Wall feature being added, this variation to the contract will result in a \$1,500 over spend however considered well worth it. 21/12/23 Commissioning early January due to adding Niche Wall feature. Wendy to advise and give minor training session to customer service staff and media release. 31/1/24 Now complete with media release.	Technical & Rural Services	Complete	100%	06/09/23	31/01/24

Project Title/Task	COA	Job	Original Budget	Current Budget	Actual Exp / Income to 17/06/24	Outstanding PO Exp to 17/06/24	Total Committed Expenditure or Income Received	Budget Remaining (incl P/Os)	Current Risk of completion by 30/6. H=Unlikely	Comments	Accountability	Status	% Complete	Start Date	Due Date
ICT - Replace Lessor Hall and Town Hall CCTV Cameras	4110165	PE063	\$8,000.00	\$8,000.00	\$0.00	\$9,142.77	\$9,142.77	-\$1,142.77	Completed	21/08/23 - Request for quotes emailed to potential providers. 05/09/23 - 2 quotes provided for review. 19/10/23 - Successful provider informed and work to be completed in Nov/Dec 14/11/23 - Purchase order to be forwarded contractor to commence work. 4/12/23 - Awaiting work to commence. 21/02/24 - Project completed, awaiting invoice to pay. 15/06/24 - Followed up with contractor to obtain final invoice, PO in system.	Corporate & Community Services	Complete	100%	01/08/23	31/01/24
Town Hall Improvement Projects	4110160	BC181	\$102,689.00	\$102,689.00	\$11,863.40	\$2,033.00	\$13,896.40	\$88,792.60	Medium	separate projects for jobs / monitoring. ? Waiting for the electrical report from the Electrical Engineering (SAGE) as to current power capacity to the existing Town Hall, to determine whether cooling, heating and lighting upgrade and sound system to the stage would be suitable or upgrade required to the electrical capacity.. 3/10/23 - Electrical report being revised be electrical engineer. 7/11/23 - Revised electrical report received. Western Power enquiry lodged to address short falls identified in the report before proceeding to the next step. 16/4/24 - Western Power application for power upgrade costing submitted by Sage Electrical Consultants. Scope of works with Peter Jago (Spirited Thinking) to be decided after power upgrade determination. 20/6/24 - Quote for generator upgrade supplied by Keeling Elctrical. Still waiting for approval form Peter Jago regarding the structural details and upgrade from costing from Western power and SAGE Electrical Engineering.	Development & Regulatory Services	Off Track	10%	01/09/23	30/06/24
NRLC Basketball Courts - Swing down Backboards and Beams for Court 2	4110255	PE086	\$10,000.00	\$18,000.00	\$0.00	\$0.00	\$0.00	\$18,000.00	Low	14/11/23 - Quotes being obtained 04/12/23 - In Progress 21/02/24 - Shortlisting of supplier being completed 20/03/24 - NFTR 19/04/24 - Contractor for Backboards identified however dependent on construction of beam still waiting on quote from RJ Smith Engineering and Prices Steel Fabrication. 15/05/24 - More recent discussions at MBS resulting in cost confirmations which will determine preferred course of actions. Quotes have been obtained for Glass backboards,. Potential revision of project which is to remain within eligibility criteria for LRCIP 4 funding. 15/06/24 - Awaiting second quote on Courts 1 & 3	Corporate & Community Services	Off Track	50%	26/10/23	30/06/24
NRLC Courts - Electric Winders	4110255	PE077	\$20,000.00	\$20,000.00	\$0.00	\$0.00	\$0.00	\$20,000.00	Low	14/11/23 - Quotes being obtained. 04/12/23 - In Progress 21/02/24 - Shortlisting supplier being completed. 20/03/24 - NFTR 18/04/24 - Contractor for Backboards identified however dependent on construction of beam still waiting on quote from RJ Smith Engineering and Prices Steel Fabrication. 15/05/24 - More recent discussions at MBS resulting in cost confirmations which will determine preferred course of actions. Quotes have been obtained for Glass backboards,. Potential revision of project which is to remain within eligibility criteria for LRCIP 4 funding. 15/06/24 - Same as above after decision to progress glass backboards this job is linked to the above and will carry forward.	Corporate & Community Services	Off Track	50%	26/10/23	30/06/24
NRLC - Fire Panel Emergency Warning System	4110255	PE079	\$90,000.00	\$40,000.00	\$0.00	\$0.00	\$0.00	\$40,000.00	Low	14/11/23 - Not commenced until review by contractor in accordance with NRLC upgrade works. 4/12/23 - As above commentary. 21/02/24 - Quotes being sought after Hunts review. 20/03/24 - NFTR 18/04/24 - Contractor identified after quotes obtained. 15/05/24 - Fire panel ordered and awaiting delivery and installation. 15/06/24 PO coded to PE079 and will be adjusted for June.	Corporate & Community Services	On Track	50%	26/10/23	30/06/24
NRLC - Upgrade Works	4110255	PE084	\$271,000.00	\$307,000.00	\$93,731.60	\$124,557.87	\$218,289.47	\$88,710.53	Low	19/10/23 - Work on Pool Filters completed. Engaging with provider to confirm automation of HVAC system, Dampers and Boiler that will reduce utility costs. 14/11/23 - Hunts and SKG to conduct NRLC works review to identify job priorities and undertakings. 4/12/23 - Review of work priorities subject to budget amendment in Feb 2024. 21/02/24 - Quotes to be sought after Hunts review and MBS discussions. 20/03/24 - NFTR 18/04/24 - Pool covers on order. Awaiting Invoice. 15/05/24 - Contractor advises that Pool covers expected to be installed by 08 July 24.	Corporate & Community Services	On Track	50%	26/10/23	30/06/24
NRLC - Architectural Concept Planning	4110255	PE085	\$20,000.00	\$26,000.00	\$17,869.00	\$0.00	\$17,869.00	\$8,131.00	Completed	RFQ for Concept Plan compiled and distributed for response. Closing date 21/09/23 19/10/23 - ORA consultants appointed and work to commence in November. 14/11/23 - Regular meetings with ORA to progress Plan criteria. Stakeholder meetings conducted 16/17 Nov 23 and feasibility study to be completed by end of Nov 23. 04/12/23 - In Progress 21/02/24 - Draft plan nearly completed and project nearing completion in March 24. 20/03/24 - Plan now with QS for costings, near completion. 18/04/24 - Still awaiting Final Report 15/05/24 - Risk management plan finalized, and report expected to be sent within the next 10 days. 15/06/24 - Report provided and complete preparing for presentation. Some costs coded to PE084 and will be adjusted in June.	Corporate & Community Services	On Track	95%	01/08/23	30/06/24
50kv Emergency Generator and Trailer (Subject to Grant)	4110255	PE075	\$35,000.00	\$35,000.00	\$0.00	\$0.00	\$0.00	\$35,000.00	Completed	14/11/23 - Management investigating grant opportunities and other means to acquire the Generator and Trailer. 21/02/24 - No further update at this time. 20/03/24 - NFTR 19/04/24 - NFTR 7/5/24 - 70kva generator acquired. Being tested at NRLC. Expenditure allocated to Manaring Road Bridge.	Corporate & Community Services	Complete	100%	26/10/23	26/05/24
Fit out of Railway Stn (NDVC)	4110660	BC207	\$20,000.00	\$20,000.00	\$24,971.00	\$0.00	\$24,971.00	-\$4,971.00	Completed	12/9/23 - delivered and being erected and on track for completion of all by 30/9/23 19/10/23 - Overbudget due to kiosk and software costed to BC207 and included in carryovers as was ordered well before 30 June. Will require cost to be journaled out. 21/02/24 - Project complete and opening function held.	Office of CEO	Complete	100%	01/07/23	29/09/23
Rail Heritage (Trains)	4110670	IO136	\$0.00	\$75,000.00	\$50,000.00	\$0.00	\$50,000.00	\$25,000.00	Low	21/02/24 - Train purchased and now planning transportation.	Office of CEO	On Track	10%	28/09/23	30/06/24

Project Title/Task	COA	Job	Original Budget	Current Budget	Actual Exp / Income to 17/06/24	Outstanding PO Exp to 17/06/24	Total Committed Expenditure or Income Received	Budget Remaining (incl P/Os)	Current Risk of completion by 30/6. H=Unlikely	Comments	Accountability	Status	% Complete	Start Date	Due Date
Narrogin Tennis Courts Lighting & Surface Upgrading (LRCIP 3)	4110360	IO127	\$0.00	\$39,210.00	\$39,121.00	\$0.00	\$39,121.00	\$89.00	Completed	12/9/23 - supplier advises hopefully dry weather will enable completion of last surfaces (synthetic) before end of Sept. 21/02/24 - Complete	Office of CEO	Complete	100%	01/07/23	30/09/23
Shelter Over BBQ at Wilbur Park and Slab	4110365	IO192	\$10,000.00	\$10,000.00	\$1,078.42	\$6,854.00	\$7,932.42	\$2,067.58	Low	I have met with John to discuss this project. John will be constructing the shelter adjoining the tennis club, relocating the BBQ and installing a table seat combo. 3/10/23 No further update 24/10/23 No further update 15/11/23 No further update, likely to occur in March 2024. 6/3/24 Skillion Shelter for over Bbq ordered from Exteria. Concrete pad, shelter and picnic setting to be constructed by John in April 18/3/24 Shelter ordered from Exteria, not due for delivery for 12 weeks, the project will be completed prior to 30 June 16/4/24 No change to status 23/4/24 Concrete pad in May. The shelter will be erected when it arrives. 14/5/24 Lime stone retainer blocks and laying of concrete pad complete. Still awaiting delivery of the shelter from Exteria, expected mid June. 11/6/24 No change	Technical & Rural Services	On Track	80%	12/09/23	21/06/24
Gnarojin Skatepark BBQ Area	4110860	FE105	\$10,000.00	\$10,000.00	\$1,415.00	\$1,531.00	\$1,531.00	\$8,469.00	Low	I have met with John on site to discuss this project. John to organise the install of an electric bunker light over the BBQ, remove current furniture and lay new concrete slab, replace table seat comb and new standup bench. 3/10/23 No further update. 24/10/23 No further update 5/11/23 No further update, likely to occur in March 2024. 6/3/24 Stand up bench ordered from Exteria today. New concrete pad, solar light and rearranging of seating to occur in April 18/3/24 Stand up bench ordered from Exteria, not due for delivery for 12 weeks, the project will be completed prior to 30 Jun 16/4/24 No change to status. 23/4/24 New pad, rearranging of seats in complete, bench table to be installed when it arrives. 14/5/24. No change to status 11/6/24 No change	Technical & Rural Services	On Track	80%	12/09/23	21/06/24
Lions Park Upgrade including Disability Friendly Swing	4110365	IO061	\$62,000.00	\$62,000.00	\$55,335.03	\$429.00	\$55,764.03	\$6,235.97	Completed	Irrigation commencing early October, followed by new swings and swing area, new concrete path, fencing, landscaping and new turf etc. 3/10/23 No further update. 24/10/24 Irrigation installed, new concrete path installed, new swings, soft fall and roll on turf ordered, completion expected end November. 15/11/23 On track, new tarp for existing playground shelter ordered. 12/12/23 New rubber soft fall booked in for January so then new swings can be hung. Swing frame in place and new sand pit. 21/12/23 Garden beds being mulched, original pic nic setting to be reinstalled with new concrete slab. Park open for the public to use. 31/1/24 waiting on soft fall contractors to arrive 12 Feb to install rubber soft fall the swings can be hung and fence put back up. 6/3/24 Concrete pad and picnic set to be reinstalled under existing shelter March, now complete. 16/4/24 4 Callistemon KPS on order for planting next to new swings in garden bed and new mulch - to happen before the end of May. 7/5/24 Minor mulching completed 10/5/24	Technical & Rural Services	Complete	100%	12/09/23	30/05/24
Walk Cycle & Mountain Bike Trails Project	4110260	IO129	\$26,000.00	\$26,000.00	\$4,107.53	\$3,400.00	\$7,507.53	\$18,492.47	Completed	Works nearly completed. Archibald Trail needs to be completed. 14/11/23 - CED Team to liaise with MO regarding completion. 4/12/23 - quote to complete remaining trail area received. Work to be undertaken in January completed Feb 24. Faulty panels being replaced. 21/02/24 - Project nearing completion. 20/03/24 - NFTR 18/04/24 - Still awaiting panel installation to be completed. 13/5/24 - Archibald walk trail works to be actioned. CEDC to meet with contractor regarding sand delivery before end of Financial year. 17/06/24 All defective panels have been replaced in the Foxes Lair and Railway Dam. In total 32 panels. 19/06/24 Archibald walk trail has been completed.	Corporate & Community Services	Complete	100%	02/07/23	31/05/24
Construction of Library Building Extension	4110560	IO080B	\$389,502.00	\$389,502.00	\$1,450.00	\$0.00	\$1,450.00	\$388,052.00	High	08/09/23 - RFQ lodged on WALGA e-Portal, closing date 4pm Fri 06 Oct 23 19/10/23 - No submissions received. BMO has engaged with local provider for quote; also looking into internal build options. 14/11/23 - Disaggregating the work requirements and seeking quotes for Plumbing works (realignment of sewer). Proposed revision of project and reallocation of LRCIP funds to other jobs in 23/24. 4/12/23 - Request for LRCIP P3 schedule to be resubmitted before 22 Dec 23. 21/02/24 - RFQ completed with one submission. Shire declined due to budget constraints. Applying to LRCIP for project variation and redistribute funds to NRLC projects. 20/03/24 - Quote for Sewerage works to be applied and engage LRCIP for project funding variation to reduce project cost and allocate remining funds to NRLC. 18/04/24 - Funding variation submitted but no quotes received yet from contractors for Sewerage works. BMO following up. 15/05/24 - After several RFQ's and unaffordable quotes, request to completes Sewerage realignment and reallocate funding via work schedule revision was declined. Project will not be completed in this current year. Municipal contribution proposed for 24/25 to realign sewer. Library extension factored into LTFF 2-10	Corporate & Community Services	Off Track	10%	01/07/23	30/06/24

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Public Art Strategy Implementation	4110860	IO113	\$25,000.00	\$50,000.00	\$2,760.00	\$3,000.00	\$5,760.00	\$44,240.00	Low	Commencing in October 2023 30/10/23 - In accordance with Council Resolution 251023.02 budget has been increased from \$25k to \$50k. 14/11/23 - RFQ being drafted for dissemination in Nov/ Dec 23 4/12/23 - RFQ issued awaiting submissions. 21/02/24 - RFQ submissions being shortlisted for design phase. Project on track. 20/03/24 - Shortlisted candidates in design phase endorsed by Council. 18/04/24 - NFTR 10/5/24 - Lottery west grant has been reappropriated for this project from Soundshell project. Two shortlisted candidates have been updated on mural theme. Submissions due in by 15/6/24 19/6/24 - Two shortlisted concepts to be presented to TAC 25 June.	Corporate & Community Services	On Track	50%	27/07/23	30/06/24
Painting of XA Class Train	4110670	IO131	\$5,000.00	\$5,000.00	\$10,706.19	\$64.00	\$10,770.19	-\$5,770.19	Low	12/9/23 - MO having outside crew finish rust proof and sanding this week, with Paul Guest volle painter then able to be invited to complete, hopefully by 5/10, but weather and volunteer schedule dependent 6/10/23 Paul now too sick to do task, will be done by outside crew. Colours received from HVTRG 30/11, seeking Country Paints supply / matches and will do in-house..Painted just adding solar light and then looking to clean up internals for child safety.	Office of CEO	On Track	90%	01/07/23	21/06/24
Narrogin Railway Station and Footbridge Heritage Interpretive Project	4110660	BC208	\$13,559.00	\$13,559.00	\$11,060.00	\$0.00	\$13,245.00	\$314.00	Completed	Awaiting the Heritage Panels expected to be delivered at the end of September 2023. 14/11/23 - Panels delivered and nearing completion. 4/12/23 - Panels installed and project completed.	Corporate & Community Services	Complete	100%	01/07/23	31/01/24
Construction of Sound Shell (Stage and Mural) at Alby Park	4110260	BC273	\$90,000.00	\$90,000.00	\$11,030.00	\$0.00	\$11,030.00	\$78,970.00	High	Waiting electrical and structural reports and drawings for RFQ/RFI 3/10/23 - Advised Designer to revised site plan regarding the orientation of the sound shell, prior to issuing the Planning approval. 7/11/23 -Documentation in final stage prior to RFQ. 2/1/24 - RFQ advertised closed end of January. Mark Furr EMCCS managing the project. 16/4/24 - No change to status. 05/05/24 Lotterywest grant has been repurposed for the NRLC mural. CED is searching for other grant opportunities.	Development & Regulatory Services	Off Track	20%	01/09/23	30/06/24
Construction of Dam at Airport	4120466	IO183	\$113,400.00	\$113,400.00	\$98,754.51	\$0.00	\$98,754.51	\$14,645.49	Low	Prelim drill shot have been done in the North West location however rock was encountered. The dam will need to be locasted next to the water bomber tanks. New test holes will be dug in November. EMTRS to order 2 new tanks. Gliding Club has been consulted. 3/10/23 No further update. 24/10/23 No further update 15/11/23 No further update 30/11/23 Test hole being dug first week of December to find the optimum spot for the dam. 12/12/23 Test hole dug with good results found near to existing DEFES tank. RFQ to go out for the dam in early January 2024 21/12/23 RFQ awarded to Halansons, dam construction to commence February2024. 6/3/24 Dam constructed. 26/3/24 Sand pads are in and the 2 tanks to be installed 18 April with all plumbing and acquital due 24 July 2024 16/4/24 2 tanks now installed. John purchasing pump, fencing and associated pipe work for completion with minor grader maint needed. Expected to be completed June and acquitted. 14/5/24 No change to status 16/5/24 It is anticipated that the project will be completed in full in line with the scope of works, however there may be some grant fund surplus remaining 11/6/24 No change	Technical & Rural Services	On Track	90%	12/09/23	28/06/24
Whinbin Rock Rd Construction	4120167	RRG205	\$1,080,000.00	\$1,080,000.00	\$1,086,100.81	\$0.00	\$1,086,100.81	-\$6,100.81	Completed	3/10/23 Commencing January after Tarwonga Road 15/11/23 No further update 31/1/24 Works 50% complete (first 3 kms out of 6kms) 6/3/24 Final 3km seal booked in for mid-March. 20/03/24 - Project completed.	Technical & Rural Services	Complete	100%	15/01/24	29/02/24
Wandering Road Construction SLK 0.0 to 3.00	4120164	WSFN332	\$757,352.00	\$757,352.00	\$685,880.92	\$250.00	\$686,130.92	\$71,221.08	Completed	Works started 12/9/23 3/10/23 On track for completion end of October early November 15/11/23 Works Complete bar line marking 20/03/24 - This amount is 17% overbudget and is being investigated. Manager Operations on leave however strong possibility of an error in allocating costs between Whinbin Rock Road and Wandering Rd. Further commentary to follow. 18/04/24 - Budget and costs addressed to date, with more costs still to be applied.	Technical & Rural Services	Complete	100%	12/09/23	15/12/23
Blackspot Tarwonga Rd (Rehab) SLK 15.5 - 16	4120168	RBS204	\$165,000.00	\$165,000.00	\$155,887.42	\$0.00	\$155,887.42	\$9,112.58	Completed	15/11/23 Works commencing end of November 2023 30/11/23 Works commenced 21/12/23 Construction works complete and new seal applied. Line marking and final road audit remain. 2nd 40% grant funding claimed December 2023 with final 20% claim to be done in March. 31/1/24 Works completed, still need to have road audit done and signed off, happening March. 27/3/24 RFQ awarded to RSA to do the final audit on this BS funded project. Sign off should occur in May, once signed off as compliant, then the remaining 20% funding will be claimed. 14/5/24 No change to status 11/6/24 Complete and final claim in with MRWA	Technical & Rural Services	Complete	100%	15/01/24	30/05/24

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Narrogin Repertory Club Easement - Survey & Legal Costs	4120180	ID001	\$10,000.00	\$10,000.00	\$0.00	\$0.00	\$0.00	\$10,000.00	Medium	Have resent correspondence to 2 adjoining properties that also require an easement, no reply as yet. One sign letter recieved from 133 Federal Street, will have to follow up with the other landowner - KEEDAC. 3/10/23 No further update. 15/11/23 No further update. 13/12/23 No further update. I will need to call in, in person to Keedac to enquire as to why they are no responding to the letters that have been sent to them and seek resolution. 21/12/23 Email with original letter to be sent to Leanne Kickett late January and progress from there. 31/1/24 Letter emailed to Leanne Kickett, no response as yet. Will call at Keedac to see her personally to enquire why no response. 27/3/24 Another attempt made to contact via email different personel at Keedac, still no response. This project will need to be carried forward if no response from Keedac or alternatively, and easement can be created with Reportary and the other property owner that have agreed to it, and can continue trying to correspond with Keedac. 16/4/24 Keedac/ Leanne Kicket has now sign an agreement to move forward with an easement. I now have all 3 properties signed up to move forward. From here, need to engage a surveyor and process easement. I am also trying to find the report that went to Council re the creation of the easement. I have found a draft report however will need to locate the report that went to Council or resubmit the original report. 6/5/24 Manager Operations has engaged a surveyor (BCE) from Bunbury to facilitate the drainage easement. 14/5/24 No change to status 11/6/24 No change	Technical & Rural Services	On Track	80%	12/09/23	28/06/24
Clayton Road Stabilising	4120165	IR047	\$15,000.00	\$15,000.00	\$4,320.54	\$0.00	\$4,320.54	\$10,679.46	Completed	15/11/23 Holding repairs in place. Works will start when the hotter weather arrives, end November. 30/11/23 Works commencing today 12/12/23 Two large repairs complete with the last one to be started and completed tomorrow 13/12/23 21/12/23 Complete	Technical & Rural Services	Complete	100%	03/01/24	16/02/24
Construct Highbury Rest Area	4120165	IR048	\$55,805.00	\$55,805.00	\$0.00	\$0.00	\$0.00	\$55,805.00	High	15/11/23 Commencing February. 31/1/24 Delays being experience with this project as RRG project dictated priority, may be late in delivery? 26/3/24 Very unlikely this project will start. Main Roads have advised that they will carry over there joint funding for this project.	Technical & Rural Services	Off Track	0%	01/02/24	30/06/24
Lange Rd Re-Sheet SLK 6.1 to 10.4	4120165	IR307	\$120,223.00	\$120,223.00	\$81,457.65	\$10,000.00	\$91,457.65	\$28,765.35	Completed	15/11/23 On track	Technical & Rural Services	Complete	100%	01/05/24	30/05/24
Pioneer Road Slip Lane to Railway Station Design Only	4120165	IR308	\$15,000.00	\$15,000.00	\$0.00	\$13,096.00	\$13,096.00	\$1,904.00	Low	P/O issued to local Engineering Consultant for design and MRWA approval process. On track 31/1/24 Expect delivery of the project late March 23/4/24 Consultant advises that deliver will be late June. 14/5/24 MRWA have advised that a slip lane will be needed rather than a break in the median. 11/6/24 Report expected July 2024	Technical & Rural Services	Off Track	70%	12/09/23	19/07/24
Taylor Rd Re-Sheet SLK 0.4 to 6.4	4120165	IR218	\$92,852.00	\$92,852.00	\$12,234.93	\$10,000.00	\$22,234.93	\$70,617.07	Low	15/11/23 On track 11/6/24 Unlikely to be completed prior to 30 June 2024. To be completed in July 2024 with carry forward of funding.	Technical & Rural Services	Off Track	20%	24/05/24	28/06/24
Armstrong Rd Re-Sheet SLK 0.0 to 4.3	4120165	IR236	\$112,918.00	\$112,918.00	\$0.00	\$17,050.00	\$17,050.00	\$95,868.00	Completed	15/11/23 On track 11/6/24 Complete	Technical & Rural Services	Complete	100%	03/05/24	30/05/24
Crooked Pool Rd Re-Sheet SLK 4.2 to 8.0	4120165	IR260	\$110,451.00	\$110,451.00	\$73,438.28	\$10,000.00	\$83,438.28	\$27,012.72	Completed	15/11/23 On track 11/6/24 Complete	Technical & Rural Services	Complete	100%	02/05/24	30/05/24
Design New Intersection for Wanerie and Cooraminning Roads	4120165	IR338	\$10,350.00	\$10,350.00	\$4,135.45	\$0.00	\$4,135.45	\$6,214.55	Completed	Report now received and will be presented at the next road ref group meeting. Awaiting invoice. 21/12/23 Complete and presented to the Road Reference Group	Technical & Rural Services	Complete	100%	01/07/23	18/08/23
Chomley Road Seal SLK 2.45 to 2.95	4120165	IR213	\$52,678.00	\$52,678.00	\$36,067.97	\$0.00	\$36,067.97	\$16,610.03	Completed	Presenting the Annual Seal RFQ to Council at the September OCM 3/10/23 Contractor locked in, on track. 15/11/23 Works likely to commence mid December 21/12/23 Works to commence whilst Whinbin Rock Road is being constructed and sealed mid March. 27/3/24 Works complete and customer happy with outcome. Will check the account for final cost of works to determin if a part refund is required to the applicant, in April 2024	Technical & Rural Services	Complete	100%	15/01/24	26/04/24
Tarwonga Road Reseal SLK2.04 to 3.04	4120166	R2R204	\$71,148.00	\$55,630.00	\$46,358.40	\$9,818.18	\$56,176.58	-\$546.58	Completed	Presenting the Annual Seal RFQ to Council at the September OCM 3/10/23 Contractor locked in, on track. 15/11/23 Works likely to commence mid December. 21/2/24 - works completed	Technical & Rural Services	Complete	100%	01/12/23	26/01/24
Narrogin Harrismith Road Reseal SLK16.7 to 18.2	4120166	R2R331	\$94,176.00	\$52,980.00	\$51,508.00	\$0.00	\$51,508.00	\$1,472.00	Completed	Presenting the Annual Seal RFQ to Council at the September OCM 3/10/23 Contractor locked in, on track. 15/11/23 Works likely to commence mid December	Technical & Rural Services	Complete	100%	01/12/23	26/01/24
Boothe Street Reseal SLK 0.0 to 0.39	4120166	R2R065	\$15,015.00	\$6,730.00	\$6,637.00	\$0.00	\$6,637.00	\$93.00	Completed	Presenting the Annual Seal RFQ to Council at the September OCM 3/10/23 Contractor locked in, on track. 15/11/23 Works likely to commence mid December	Technical & Rural Services	Complete	100%	01/12/23	26/01/24
Callan Way Reseal SLK 0.0 to 0.58	4120166	R2R316	\$23,925.00	\$17,780.00	\$17,779.50	\$0.00	\$17,779.50	\$0.50	Completed	Presenting the Annual Seal RFQ to Council at the September OCM 3/10/23 Contractor locked in, on track 15/11/23 Works likely to commence mid December	Technical & Rural Services	Complete	100%	01/12/23	26/01/24
Fox Street Reseal SLK 0.0 to 1.28	4120166	R2R015	\$39,268.00	\$55,195.00	\$46,982.00	\$7,076.44	\$54,058.44	\$1,136.56	Completed	Presenting the Annual Seal RFQ to Council at the September OCM 3/10/23 Contractor locked in, on track. 15/11/23 Works likely to commence mid December	Technical & Rural Services	Complete	100%	01/12/23	26/01/24
Narrakine South Road Reseal SLK 1.03 to 2.42	4120166	R2R221	\$59,637.00	\$41,178.00	\$37,332.00	\$3,681.82	\$41,013.82	\$164.18	Completed	Presenting the Annual Seal RFQ to Council at the September OCM 3/10/23 Contractor locked in, on track 15/11/23 Works likely to commence mid December	Technical & Rural Services	Complete	100%	01/12/23	26/01/24
Simmons Road Reseal SLK 0.0 to 3.77 (amended)	4120166	R2R276	\$59,637.00	\$133,313.00	\$125,813.98	\$7,076.45	\$132,890.43	\$422.57	Completed	Presenting the Annual Seal RFQ to Council at the September OCM 3/10/23 Contractor locked in, on track. 15/11/23 Works likely to commence mid December	Technical & Rural Services	Complete	100%	01/12/23	26/01/24

Project Title/Task	COA	Job	Original Budget	Current Budget	Actual Exp / Income to 17/06/24	Outstanding PO Exp to 17/06/24	Total Committed Expenditure or Income Received	Budget Remaining (incl P/Os)	Current Risk of completion by 30/6. H=Unlikely	Comments	Accountability	Status	% Complete	Start Date	Due Date
Highbury East Rd Culvert upgrade	4120166	R2R348	\$48,750.00	\$48,750.00	\$7,598.71	\$0.00	\$7,598.71	\$41,151.29	Completed	P/O issued to NEC, works scheduled for December 3/10/23 No further update. 15/1/23 Contractor advises that works will commence late November pending no rain. 30/1/23 Contractor booked in for works to occur 11-16 December 2023 12/12/23 Works commence today 12/12/23 21/12/23 Works progressing well with road reopened. Completion expect mid April. 26/3/24 Road reopening today with only minor finishing works required. 16/4/24 Works now complete. Need to investigate with Finance an issue with committed funds toward this account, something must be incorrectly allocated to another account?	Technical & Rural Services	Complete	100%	24/11/23	30/05/24
Streetlight on Federal St to Access Divine You (Electronic/Solar)	4120165	IO186	\$8,000.00	\$8,000.00	\$1,182.28	\$0.00	\$1,182.28	\$6,817.72	Completed	Solar street light purchased and delivered to the depot. To be installed in November. 15/11/23 No further update. 30/11/23 Complete and operational	Technical & Rural Services	Complete	100%	06/10/23	30/11/23
Ensign Street Footpath (Narrakine to Floyd) as per adopted program	4120175	IF006	\$40,000.00	\$40,000.00	\$35,778.00	\$3,577.80	\$39,355.80	\$644.20	Completed	P/O issued to NEC, works planned for December 3/10/23 No further update. 15/11/23 Currently in progress with completion expected end of November	Technical & Rural Services	Complete	100%	30/11/23	26/01/24
Daglish Street Footpath (Lock to Ensign) as per adopted program	4120175	IF007	\$18,000.00	\$18,000.00	\$16,642.00	\$0.00	\$16,642.00	\$1,358.00	Completed	P/O issued to NEC, works planned for December 3/10/23 No further update. 21/12/23 Works to happen in the new year due to the contractors busy schedule with competing projects, expected to be completed by the end of April 2024.	Technical & Rural Services	Complete	100%	30/11/23	26/04/24
210 Caterpillar Backhoe (Rego)	4120350	PA023A	\$200,000.00	\$200,000.00	\$202,696.85	\$0.00	\$202,696.85	-\$2,696.85	Completed	Purchase order issued 30/12/23 Backhoe received	Technical & Rural Services	Complete	100%	08/09/23	30/11/23
2014 Hino 300 Series 3T Tipper (Rego)	4120350	PA8220A	\$100,000.00	\$100,000.00	\$92,773.21	\$0.00	\$92,773.21	\$7,226.79	Completed	Purchase order issued - Delivery..? 6/5/24 Email sent to John asking when delivery is expected. 14/5/24 Not delivered yet, maybe June 11/6/24 Complete, delivered. Trade to be auctioned 15/6/24	Technical & Rural Services	Complete	100%	08/09/23	30/05/24
NO0 2020 Mitsubishi Triton (Works) (Grader Ute)	4120350	PA063A	\$35,000.00	\$35,000.00	\$0.00	\$28,658.18	\$28,658.18	\$6,341.82	Low	Low kms, to be ordered later in 2024 27/3/24 To be ordered April 2024 16/4/24 Purchase order issued to Narragin Isuzu, ute to be delivered by mid June 2024	Technical & Rural Services	On Track	95%	01/03/24	21/06/24
NO592 Mitsubishi Triton (LH Parks & Gardens)	4120350	PA021A	\$35,000.00	\$35,000.00	\$0.00	\$37,477.26	\$37,477.26	-\$2,477.26	Low	Low kms, to be ordered later in 2024 27/3/24 To be ordered April 2024 16/4/24 Purchase order issued to Narragin Isuzu, ute to be delivered by mid June 2024.	Technical & Rural Services	On Track	95%	01/03/24	21/06/24
NGN15581 Mazda BT50 Ute 2017 (Ovals)	4120350	PA062B	\$35,000.00	\$35,000.00	\$0.00	\$28,658.18	\$28,658.18	\$6,341.82	Low	Low kms, to be ordered later in 2024 27/3/24 To be ordered April 2024 16/4/24 Purchase order issued to Narragin Isuzu ute to be delivered by mid June 2024	Technical & Rural Services	On Track	95%	01/03/24	21/06/24
NGN12070 2002 Mower/Catcher Trailer (Works)	4120350	PA029A	\$23,000.00	\$23,000.00	\$21,900.00	\$0.00	\$21,900.00	\$1,100.00	Completed	Received	Technical & Rural Services	Complete	100%	25/08/23	31/08/23
Handheld Vertimower (Parks and Gardens)	4120350	PA5556	\$10,000.00	\$10,000.00	\$8,963.00	\$0.00	\$8,963.00	\$1,037.00	Completed	3/10/23 Purchase order issued 24/10/23 Now received	Technical & Rural Services	Complete	100%	27/10/23	24/11/23
Flocon Road Sealer Purchase	4120350	PA8215	\$350,000.00	\$350,000.00	\$350,308.00	\$0.00	\$350,308.00	-\$308.00	Completed	Received	Technical & Rural Services	Complete	100%	01/09/23	01/09/23
Hino 300 Series Crew Cab	4120350	PA8219A	\$109,000.00	\$109,000.00	\$109,362.00	\$0.00	\$109,362.00	-\$362.00	Completed	Delivery mid September, licencing happening today. 3/10/23 Now received.	Technical & Rural Services	Complete	100%	29/09/23	06/10/23
Manaring Road Bridge	4120181	IB211	\$275,000.00	\$275,000.00	\$251,519.02	\$25,506.87	\$277,025.89	-\$2,025.89	Completed	Engineering designs complete and signed off on. Materials purchased. 3/10/23 No further update. 15/11/23 Starting December/January 31/1/24 old timber bridge removed and new concrete culvert bridge 50% complete 26/3/24 Manaring Road reopened today with only W rails to be installed then project complete by end of May. 14/5/24 No change to status 11/6/24 Complete	Technical & Rural Services	Complete	100%	01/12/23	30/05/24
Whinbin Rock Road Bridge (MRWA Facilitate)	4120181	IB205	\$588,000.00	\$588,000.00	\$0.00	\$0.00	\$0.00	\$588,000.00	Completed	MRWA advise that this project will be completed in December 2023 26/3/24 MRWA were working under this Bridge on 19/3/24. I will contact them to find out a completion date. 27/3/24 EMTRS has email MRWA for the status of the project and to advise on final expenditure, any surplus to be spent on another bridge project. 16/4/24 MRWA have advised that works are complete. EMTRS awaiting final costings from MRWA.	Technical & Rural Services	Complete	100%	30/11/23	30/05/24
Est 1978 Accessible Entrance	4130650	BC282	\$7,500.00	\$7,500.00	\$6,783.37	\$0.00	\$6,783.37	\$716.63	Completed	3/10/23 - 2 quotes received. Waiting for the third quote to come through before proceeding. 7/11/23 - Building maintenance officer meeting with preferred contractor and leasee to organise suitable time to commence work. 2/1/24 - Work to commence in January/February. 16/4/24 - Works completed.	Development & Regulatory Services	Complete	100%	02/10/23	30/05/24
NDVC Digital Kiosk	4130250	FE106	\$6,000.00	\$6,000.00	\$5,925.00	\$0.00	\$5,925.00	\$75.00	Completed	12/9/23 - on track for completion and first data / imagery by 30/9/23 19/10/23 - Purchased in July.	Office of CEO	Complete	100%	01/07/23	30/09/23
Westpac Roof Replacement	4130650	BC283	\$65,000.00	\$35,000.00	\$34,280.00	\$0.00	\$34,280.00	\$720.00	Completed	3/10/23 - two quotes received. Waiting for third quote to come through before proceeding. 7/11/23 - works awarded to Ground Building & Construction. Works to be completed by 8 December 2023. 2/1/24 - Works have been rescheduled to end of January. 18/04/24 - Job completed.	Development & Regulatory Services	Complete	100%	01/10/23	04/03/24
Construction and Fit Out of 3 New Chalets at the Caravan Park	4130260	BC239	\$297,272.00	\$297,272.00	\$295,084.62	\$1,100.00	\$296,184.62	\$1,087.38	Completed	Handover from installer due mid September, along with furnishings, external earth works, concreting, landscaping, finishing off works, hopefully open for visitors late November pending contractors, furnishings. 30/11/23 On track for opening prior to Christmas 21/12/23 Opening for bookings 22/12/23 :)	Technical & Rural Services	Complete	100%	12/09/23	31/01/24

Project Title/Task	COA	Job	Original Budget	Current Budget	Actual Exp / Income to 17/06/24	Outstanding PO Exp to 17/06/24	Total Committed Expenditure or Income Received	Budget Remaining (incl P/Os)	Current Risk of completion by 30/6. H=Unlikely	Comments	Accountability	Status	% Complete	Start Date	Due Date
Caravan Park Photovoltaic System	4130255	PE062	\$0.00	\$15,000.00	\$10,909.09	\$2,678.82	\$13,587.91	\$1,412.09	Completed	Endorsed by Council. 24/10/23 EMTRS has issued a purchase order to Narrogin Electrics as the other supplier advised that they could not hold their quote and could not do the works until Feb 2024 and recommended to use someone else as they had too much work. 21/12/23 Narrogin Electrics have started installing the solar system, expected to be completed mid February. 27/3/24 EMTRS has contact the supplier with the supplier advising that final works for connection to inverters will occur Easter long weekend. Once this has been done, Western Power will be advised of completion and will need to activate. Expect all this to be complete early April. 27/03/24 - Expenditure costed to wrong job BC291 to PE062, amended accordingly.	Technical & Rural Services	Complete	100%	28/09/23	30/05/24
Electric Vehicle Charging Stations	4140585	IO166	\$0.00	\$36,017.00	\$35,767.58	\$0.00	\$35,767.58	\$249.42	Completed		Technical & Rural Services	Complete	100%	30/10/23	30/05/24
Good Shed - Roof and Wall Restoration	4130650	BC278	\$283,450.00	\$283,450.00	\$21,727.27	\$0.00	\$21,727.27	\$261,722.73	High	Waiting for report from Water Corporation and DFES whether a water tank or separation of building will be required to satisfy the Fire requirement due to the floor area being greater than 500m2 3/10/23 - Amended fire compartment to be drawn into plans, RFQ documentation required from designer. 7/11/23 - Documentation in final stage. Building Certifier assessing final drawings. 2/1/24 - Waiting for Fire report to come through prior to advertising the RFQ/RFT. 16/4/24 - Documentation with private certifier at present. RFT document to be completed and sent out upon compliance documents being received. 20/6/24 - Waiting for quotes to come through.	Development & Regulatory Services	Off Track	5%	01/09/23	30/06/24
1NGN 2019 Toyota Prado (CEO)	4140585	PA001M	\$75,000.00	\$75,000.00	\$63,655.00	\$0.00	\$63,655.00	\$11,345.00	Completed	P/O issued and vehicle received.	Technical & Rural Services	Complete	100%	12/09/23	04/10/23
0NGN 2021 Isuzu MUX (EMCCS)	4140585	PA005M	\$55,000.00	\$55,000.00	\$55,701.80	\$0.00	\$55,701.80	-\$701.80	Completed	Vehicle acquired 30/08/23.Additional expense offset by additional revenue from Disposal of vehicle. Project within budget.	Corporate & Community Services	Complete	100%	27/07/23	30/09/23
0NO 2021 Isuzu MUX (EMTRS)	4140585	PA700N	\$55,000.00	\$55,000.00	\$62,517.73	\$0.00	\$62,517.73	-\$7,517.73	Completed	P/O issued for PHEV Outlander, delivery expected January 2024. 31/1/24 PHEV Outland recieved late January 24. Isuzu MUX disposed of to Edwards Izusu for \$45,000	Technical & Rural Services	Complete	100%	12/09/23	31/01/24
Replacement of Fuso Rosa (Homecare Bus)	4080455	PA072A	\$125,300.00	\$125,300.00	\$0.00	\$125,296.00	\$125,296.00	\$4.00	Low	Awaiting delivery 21/02/24 - Still awaiting delivery. 20/03/24 - NFTR 2/4/24 - Vehicle en route to WA 10/5/24 - advised delivery end May 19/6/24 - delivery of bus scheduled 20/6/24	Corporate & Community Services	On Track	50%	27/07/23	01/07/24
Relocation of Narrogin Regional Homecare Services	4080360	BC052	\$868,545.00	\$868,545.00	\$0.00	\$0.00	\$0.00	\$868,545.00	Medium	CEO and Shire President engaging with NSCC Committee 19/10/23 - Agenda Item to Council in Dec 23 14/11/23 - Agenda item being prepared for Dec 23 OCM 4/12/23 - Agenda Item to be presented 13/12/23. 21/02/24 - Subject to outcome of Concept plan in April, relocation on hold and likely to carry over into next financial year. 20/03/24 - NFTR 10/5/24 - NFTR 19/6/24 - NFTR	Corporate & Community Services	Off Track	20%	01/07/23	30/06/24
Trade - NGN417 2020 Mazda BT-50 4x4 (RANGER)	5050350	PD007E	-\$30,000.00	-\$30,000.00	-\$30,000.00	NA	-\$30,000.00	\$0.00	Completed	3/10/23 - PO issued. 7/11/23 - Manager Operations following up with local dealer on delivery of vehicles. 2/1/24 - Waiting for delivery of vehicle. 16/4/24 - vehicle received. Awaiting payment of replacement vehicle 15/05/24 - Completetfd	Development & Regulatory Services	Complete	100%	01/09/23	31/05/24
Trade - NGN00 2021 Toyota Kluger (EMDRS)	5050350	PD002O	-\$35,000.00	-\$35,000.00	-\$34,545.00	NA	-\$34,545.00	-\$455.00	Completed	P/O issued. waiting for arrival of vehicle. 3/10/23 - vehicle delivered on 29 September 2023	Development & Regulatory Services	Complete	100%	01/09/23	01/11/23
Trade - Senior Rangers 2020 Isuzu Replacement	5050350	PD8163C	-\$48,182.00	-\$48,182.00	-\$48,181.00	NA	-\$48,181.00	-\$1.00	Completed	PO issued. Waiting for arrival of vehicle 3/10/23 - vehicle delivered.	Development & Regulatory Services	Complete	100%	01/09/23	01/11/23
Trade - Homecare Fleet Replacement - Toyota Corolla 2019 NGN839	5080450	PD044	-\$17,000.00	-\$9,000.00	-\$9,000.00	NA	-\$9,000.00	\$0.00	Completed	RFQ for Trade of Vehicle issued 31/08/23 2/4/23 - Awaiting vehicle delivery 10/5/24 - Transition of vehicle complete	Corporate & Community Services	Complete	100%	27/07/23	31/05/24
Trade - Homecare - Replacement Home Maintenance Trailer	5080450	PD555	-\$1,500.00	-\$1,500.00	\$0.00	NA	\$0.00	-\$1,500.00	Low	18/04/24 - Awaiting sale of trailer 10/5/24 - New trailer delivered. Sale of old trailer to be organised.	Corporate & Community Services	On Track	90%	27/07/23	30/06/24
Trade - Homecare - Replacement of NGN 15333 - Mazda BT50 Utility 4x2	5080450	PD013	-\$20,000.00	-\$8,000.00	-\$8,181.82	NA	-\$8,181.82	\$181.82	Completed	RFQ for Trade of Vehicle issued 31/08/23 15/05/24 - Disposal expected by end of May 24. 19/6/24 - Vehicle trade complete	Corporate & Community Services	Complete	100%	27/07/23	31/05/24
Trade - Homecare - Replacement of NGN847 - Mazda CX-5	5080450	PD010C	-\$25,000.00	-\$23,000.00	-\$20,909.09	NA	-\$20,909.09	-\$2,090.91	Completed	RFQ for Trade of Vehicle issued 31/08/23 10/5/24 - Vehicle transition completed	Corporate & Community Services	Complete	100%	27/07/23	31/05/24
Trade - Replacement of Homecare Fuso Rosa Bus	5080450	PD072A	-\$47,592.00	-\$47,592.00	\$0.00	NA	\$0.00	-\$47,592.00	Low	Trade amount agreed with Toyota. Awaiting delivery of vehicle to Trade Fuso Rosa 19/6/24 - await delivery of new bus 20/6/24	Corporate & Community Services	On Track	95%	02/07/23	30/06/24
Trade - 210 Caterpillar Backhoe (Rego)	5120350	PD023A	-\$30,000.00	-\$30,000.00	-\$52,650.00	NA	-\$52,650.00	\$22,650.00	Completed	Goes to Public Auction when new is received 18/3/24 Sold at auction for \$52,000, \$22,000 over Budgeted figure	Technical & Rural Services	Complete	100%	29/03/24	31/05/24
Trade - 2014 Hino 300 Series 3T Tipper (Rego)	5120350	PD8220A	-\$20,000.00	-\$20,000.00	-\$23,636.00	NA	-\$23,636.00	\$3,636.00	Completed	Goes to Public Auction when new is recieved in June 11/6/24 Public auction 15/6/24 19/6/24 sold at auction for \$26,000 inc gst or \$23,636 ex gst.	Technical & Rural Services	Complete	100%	29/03/24	30/05/24
Trade - NO0 2020 Mitsubishi Triton (Works) (Grader Ute)	5120350	PD063A	-\$20,000.00	-\$20,000.00	\$0.00	NA	\$0.00	-\$20,000.00	Low	To be disposed of when new is received 16/4/24 Purchase order issued to Narrogin Isuzu to be traded in June Invoice issued for Trade in.	Technical & Rural Services	On Track	95%	01/02/24	21/06/24
Trade - NO592 Mitsubishi Triton (LH Parks & Gardens)	5120350	PD021A	-\$20,000.00	-\$20,000.00	\$0.00	NA	\$0.00	-\$20,000.00	Low	To be disposed of when new is received 16/4/24 Purchase order issued to Narrogin Isuzu to be traded in June Invoice issued for trade in.	Technical & Rural Services	On Track	95%	01/02/24	21/06/24
Trade - NGN15581 Mazda BT50 Ute 2017 (Ovals)	5120350	PD062B	-\$20,000.00	-\$20,000.00	\$0.00	NA	\$0.00	-\$20,000.00	Low	To be disposed of when new is received 16/4/24 Purchase order issued to Narrogin Isuzu to be traded in June Invoice issued for trade in.	Technical & Rural Services	On Track	95%	01/02/24	21/06/24
Trade - NGN12070 2002 Mower/Catcher Trailer (Works)	5120350	PD029A	-\$500.00	-\$500.00	-\$2,000.00	NA	-\$2,000.00	\$1,500.00	Completed	Disposed of to Narrogin Race and Pace for \$2,000	Technical & Rural Services	Complete	100%	13/09/23	30/11/23
Trade - Handheld Vertimower (Parks and Gardens)	5120350	PD5556	\$0.00	\$0.00	\$0.00	NA	\$0.00	\$0.00	Completed	Disposed of to refuse site as un usable	Technical & Rural Services	Complete	100%	01/07/23	31/08/23
Trade - Flocon Road Sealer Purchase	5120350	PD8215	-\$5,000.00	-\$5,000.00	-\$3,697.73	NA	-\$3,697.73	-\$1,302.27	Completed	Complete, sold for \$4,200, less commission and GST	Technical & Rural Services	Complete	100%	01/07/23	31/08/23
Disposal of Jet Patcher	5120350	PD8218	-\$10,000.00	-\$10,000.00	-\$85,730.68	NA	-\$85,730.68	\$75,730.68	Completed	Complete, sold for \$96,000, less commission and GST	Technical & Rural Services	Complete	100%	01/07/23	31/08/23
Trade - Hino 300 Series Crew Cab	5120350	PD8219A	-\$31,909.00	-\$31,909.00	-\$31,909.00	NA	-\$31,909.00	\$0.00	Completed	Traded with purchase of new	Technical & Rural Services	Complete	100%	31/10/23	30/05/24
Disposal of JD Ride On Mower (Parks)	5120350	PD066A	-\$1,000.00	-\$1,000.00	-\$2,437.00	NA	-\$2,437.00	\$1,437.00	Completed	Public Auction February 18/3/24 Sold at auction for \$2,500 awaiting payment	Technical & Rural Services	Complete	100%	16/02/24	31/05/24

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Disposal of JD Ride On Mower (Caravan Park)	5120350	PD039A	-\$1,000.00	-\$1,000.00	-\$2,437.00	NA	-\$2,437.00	\$1,437.00	Completed	Public Auction February 18/3/24 Sold at auction for \$2,500 Awaiting payment	Technical & Rural Services	Complete	100%	16/02/24	31/05/24
Trade - 1NGN 2019 Toyota Prado (CEO)	5140550	PD001M	-\$40,000.00	-\$40,000.00	-\$52,727.00	NA	-\$52,727.00	\$12,727.00	Completed	Disposed of when new one arrives. 3/10/23 Now Complete.	Technical & Rural Services	Complete	100%	02/10/23	31/10/23
Trade - 0NGN 2021 Isuzu MUX (EMCCS)	5140550	PD005M	-\$40,000.00	-\$40,000.00	-\$46,269.10	NA	-\$46,269.10	\$6,269.10	Completed	Vehicle disposed and above budget to offset higher acquisition cost of replacement vehicle.	Corporate & Community Services	Complete	100%	27/07/23	30/09/23
Trade - 0NO 2021 Isuzu MUX (EMTRS)	5140550	PD700N	-\$35,000.00	-\$35,000.00	-\$40,909.00	NA	-\$40,909.00	\$5,909.00	Completed	Disposed of to Edwards Isuzu for \$45,000	Technical & Rural Services	Complete	100%	02/10/23	19/01/24
Trade - P65 PHEV EHO MG	5140550	PD065A	-\$23,000.00	-\$23,000.00	-\$23,000.00	NA	-\$23,000.00	\$0.00	Completed	Insurance payout after vehicle written off.	Development & Regulatory Services	Complete	100%	01/07/23	01/02/24
Trade - NGN 219 CATs Vehicle 2020	5080750	PD014G	-\$16,000.00	-\$16,000.00	-\$18,000.00	NA	-\$18,000.00	\$2,000.00	Completed	20/03/24 - To be disposed when new vehicle is delivered 15/05/24 - Trade in scheduled for 15/05/24 and expect payment to be made by end of May 24. 19/6/24 - Trade-in complete	Corporate & Community Services	Complete	100%	01/03/24	26/05/24
Asset Revaluations	2040226	NA	\$80,000.00	\$73,000.00	\$73,135.00	\$0.00	\$73,135.00	-\$135.00	Completed	19/10/23 - Revaluations completed, final invoices to be provided once reports finalised 14/11/23 - Completed	Corporate & Community Services	Complete	100%	27/07/23	20/10/23
LG Election	2040112	NA	\$50,000.00	\$25,000.00	\$25,000.00	\$0.00	\$25,000.00	\$0.00	Completed	12/9/23 - Noms have closed, 9 for 6, election 21/10. 24/10 - concluded and awaiting bill from WAEC.	Office of CEO	Complete	100%	01/08/23	27/10/23
NDVC Website	2130218	NA	\$20,000.00	\$20,000.00	\$21,440.00	\$0.00	\$21,440.00	-\$1,440.00	Completed	Provider identified (IMPART Media), structure agreed, design agreed and now commencing content phase. 1/5/24 - final design imminent. 13/5/24 - Link available 14/4/24 and release form to be signed by CEO. Go live date to be agreed - proposed 21/5/24 19/06/24 - website has gone live. activation program is in place to promote the website in the community.	Corporate & Community Services	Complete	100%	27/07/23	30/05/24
NDVC Monopoly Board Game Project	2130214	MONOB01	\$90,000.00	\$90,000.00	\$0.00	\$0.00	\$0.00	\$90,000.00	High	Negotiating contractual implications associated with Sponsorship event and engaging with Winning Moves regarding contract subject to appropriate sponsorship for the project being received that warrants project "GO". 19/10/23 - Agreement with no financial commitment to be signed by Shire enabling use of Trademark for sponsorship event. 14/11/23 NFTR. 4/12/23 - Agreement signed. Next step is to arrange sponsorship event early 2024. 21/02/24 - Sponsorship event planned in next few months however this project is likely to carry over into next FY. 20/03/24 - Sponsorship event planned for next FY; Project carry over into next FY.	Corporate & Community Services	Off Track	10%	01/08/23	30/06/24
MAF Bush Fire Prevention Funding	2050120	NA	\$207,560.00	\$207,560.00	\$90,960.00	\$66,470.50	\$157,430.50	\$50,129.50	Low	Waiting for additional Quotes to come through 3/10/23 - currently assessing quotes and confirming costs with contractors before appointing the preferred contractors. 7/11/23 - PO to be issued to preferred contractor in the next two weeks. 2/1/24 - PO issued to preferred contractors and work will commenced by April/May to be completed by June 2024. 16/4/24 - contractor undertaking mitigation works to be completed by end of june. 20/6/24 - 80% of job completed. Weather is stopping some of the mitigation works from being completed.	Development & Regulatory Services	On Track	80%	23/10/23	28/06/24

10.3.3 ANNUAL (NON RATE) DEBTORS REVIEW / WRITE OFF REPORT

File Reference	12.7.1
Disclosure of Interest	Neither the Author nor Authorising Officer have any Impartiality, Financial or Proximity Interests that requires disclosure.
Applicant	Nil
Previous Item Numbers	Nil
Date	4 June 2024
Author	Paula Raworth – Manager Community Services
Authorising Officer	Mark Furr – Executive Manager Corporate & Community Services
Attachments	
1. Homecare Debtor Write Offs - Confidential Attachment (under separate cover)	

Summary

The following information is presented to Council for authorisation to write off any sundry outstanding debts.

Background

As part of the preparation of the Shire's end of year finance accounts, a review of the Shire's outstanding sundry debts has been undertaken.

All outstanding sundry debtor invoices followed the Shire's debt recovery process, including an offer to contact the Shire should the customer be experiencing any difficulty in making payment. No further action was taken with the invoices as it would cost the Shire more in debt recovery costs than the outstanding amounts.

Consultation

Consultation has been undertaken with the following Officers:

- Executive Manager Corporate & Community Services;
- Manager Corporate Services;
- Manager Community Services; and
- Senior Ranger.

Statutory Environment

Section 6.12 (1) (c) of the Local Government Act 1995 states that *"a local government may write off any amount of money, which is owed to the local government"*.

Unrecoverable debts up to the individual value of \$100.00 may be written off under Council Delegation 3.7, whilst those over \$100.00 are to be brought to Council for write off on at least an annual basis pursuant the Shire's Compliance & Governance Calendar.

Policy Implications

The Council's Policy Manual contains no policies that relate and nor are there any proposed.

Financial Implications

Details of the proposed write offs are shown in the Confidential Attachment. This will reduce the revenue expected to be collected in 2023/24 by \$719.85.

Strategic Implications

Shire of Narrogin Strategic Community Plan 2017-2027		
Objective:	4.	Civic Leadership Objective (Continually enhance the Shire's organisational capacity to service the needs of a growing community)
Outcome:	4.1	An efficient and effective organisation
Strategy:	4.1.1	Continually improve operational efficiencies and provide effective services

Risk Implications

Risk	Risk Likelihood	Risk Impact / Consequence	Risk Rating	Principal Risk Theme	Risk Action Plan (Controls or Treatment proposed)
Whilst the amount is relatively small, if the Council does not write off debts deemed by management as uncollectable it could result in the Shire incurring additional irrecoverable costs in attempting to collect, and or artificially raises the end of year surplus position, giving an inflated view of that position.	Rare (1)	Minor (2)	Low (1-4)	Asset Sustainability	Proceed with the proposed write-offs.

Risk Matrix

Consequence		Insignificant	Minor	Moderate	Major	Catastrophic
Likelihood		1	2	3	4	5
Almost Certain	5	Medium (5)	High (10)	High (15)	Extreme (20)	Extreme (25)
Likely	4	Low (4)	Medium (8)	High (12)	High (16)	Extreme (20)
Possible	3	Low (3)	Medium (6)	Medium (9)	High (12)	High (15)
Unlikely	2	Low (2)	Low (4)	Medium (6)	Medium (8)	High (10)
Rare	1	Low (1)	Low (2)	Low (3)	Low (4)	Medium (5)

A risk is often specified in terms of an event or circumstance and the consequences that may flow from it. An effect may be positive, negative or a deviation from the expected and may be related to

the following objectives; occupational health and safety, financial, service interruption, compliance, reputation and environment. A risk matrix has been prepared and a risk rating of four has been determined for this item. Any items with a risk rating over 10 or greater (considered to be high or extreme risk) will be added to the Risk Register, and any item with a risk rating of 16 or greater will require a specific risk treatment plan to be developed.

Comment/Conclusion

The debts requested to be written off in this report are deemed irrecoverable and considered to be minor in value. Please refer to the confidential Attachment 1 provided for details.

Voting Requirements

Simple Majority

OFFICERS' RECOMMENDATION

That pursuant to sections 6.12(1)(c) and 6.64(1)(b) of the Local Government Act 1995, and regulation 42(d) of the Local Government (Financial Management) Regulations 1996, Council:

1. Authorise the Administration to write off amounts deemed uneconomic to recover, totalling \$719.85, as per Confidential Attachment 1; and
2. Request the Administration to ensure that that this write off be referenced in the Annual Financial Report, as required by the aforementioned regulation.

10.3.4 RECOVERY OF RATES DEBT – SALE OF 40 NORTHWOOD STREET, NARROGIN.

File Reference	A289900
Disclosure of Interest	Neither the Author nor Authorising Officer have any Impartiality, Financial or Proximity Interests that requires disclosure.
Applicant	Nil
Previous Item Numbers	Nil
Date	13 June 2024
Author	Amy Lazenby – Rates Officer
Authorising Officer	Mark Furr – Executive Manager, Corporate and Community Services
Attachments	
1. Rates Debt Write Off – Confidential Attachment under separate cover.	

Summary

The Shire of Narrogin is requesting Council approve the write off \$36,865.81 of the total remaining debts and rates owing associated with the property at 40 Northwood Street. This property, which has been involved in legal proceedings for many years to recover outstanding rates and service charges, has been on the market for an extended period but will be finally settled by 20 June 2024.

Background

The property at 40 Northwood Street has been a subject of financial and legal complications since 2013. The complexities surrounding the property have led to a request for Council to write off \$36,865.81 in rates and legal costs following its sale and to achieve financial resolution.

In 2013, legal action commenced regarding the property after the owner was declared deceased and attempts to establish an executor for the estate were unsuccessful. The Administration subsequently commenced the process of legal action for the recovery of rates and service charges.

The course of action best suited to the circumstances of this property was to let the debt age to three (3) years, however, after numerous delays to recover the outstanding amount resulted in the accumulation of significant legal fees and outstanding rates. As a result, the outstanding balance on the property eventually exceeded its market value of \$25,000.00.

The property failed to sell at auction on 28 August 2023. The property was subsequently moved to Private Treaty as per the policies governed by the Local Government Act 1995.

In May 2024, the Administration received an offer of \$30,000.00 for the property during private treaty negotiations. This offer was the highest received and matched the reserve price set in 2018 and used in the auction in 2023. The market conditions at the time and the quality of the block, meant that it was unlikely that the property would sell for a price that was close to the current outstanding debt balance that exceeded \$60,000.00.

Accepting the \$30,000.00 offer was considered the best option to recover a portion of the outstanding debt. This was necessary to proceed with the sale and avoid further financial loss and consequently the settlement for the sale of 40 Northwood Street should take place on or around 20 June 2024.

Consultation

Consultation has been undertaken with the following:

- Chief Executive Officer;
- Executive Manager Corporate and Community Services;
- Elders Real Estate;
- AMPAC Debt Recovery;
- Palisade Corporate; and
- Lane Buck and Higgins.

Statutory Environment

Section 6.64(1) of the Local Government Act 1995 states that:

“(1) If any rates or service charges which are due to a local government in respect of any rateable land have been unpaid for at least 3 years the local government may, in accordance with the appropriate provisions of this Subdivision take possession of the land and hold the land as against a person having an estate or interest in the land and —

- (a) from time to time lease the land; or*
- (b) sell the land; or*
- (c) cause the land to be transferred to the Crown; or*
- (d) cause the land to be transferred to itself.”*

Section 6.68(1) of the Local Government Act 1995 states that:

“Subject to subsection (2), a local government is not to exercise its power under section 6.64(1)(b) in this Subdivision and Schedule 6.3 referred to as the power of sale in relation to any land unless, within the period of 3 years prior to the exercise of the power of sale, the local government has at least once attempted under section 6.56 to recover money due to it.”

Section 6.68(2) of the Local Government Act 1995 states that:

“A local government is not required to attempt under section 6.56 to recover money due to it before exercising the power of sale where the local government —

- (a) has a reasonable belief that the cost of the proceedings under that section will equal or exceed the value of the land” or*
- (b) having made reasonable efforts to locate the owner of the property is unable to do so”.*

Section 6.71(1) of the Local Government Act 1995 states:

“If under this Subdivision land is offered for sale but at the expiration of 12 months a contract for the sale of the land has not been entered into by the local government, it may by transfer, where the land is subject to the provisions of the Transfer of Land Act 1893, and by deed, where the land is not subject to the provisions of that Act, transfer or convey the estate in fee simple in the land to —

- (a) the Crown in right of the State; or*
- (b) the local government.*

Section 6.73 of the Local Government Act 1995 states:

“A sale of land by a local government or a transfer or conveyance of land to the Crown or a local government under this Subdivision discharges —

(a) the land; and

(b) the owners (present and past) of the land,

from any liability to the local government for rates, service charges or other money due to the local government which were, at the time of the sale, transfer, or conveyance —

(c) secured by a charge over the land; or

(d) otherwise, recoverable, whether under this Act or another written law, by the local government in respect of the land.

Schedule 6.3 of the Local Government Act 1995 also specifies the various provisions relating to the process of sale.

Regulation 42 of the Local Government (Financial Management) Regulations 1996, requires any such amounts written off during a financial year to be disclosed in a note to that effect, in the Annual Financial Report for that year.

Policy Implications

There are no policy implications associated with this matter.

Financial Implications

After the completion of this sale and the subsequent settlement process; the Administration has recovered \$25,961.80 of the outstanding debt of \$64,342.29. The outcome of this sale has resulted in a loss to the Shire of \$36,865.81 for which management is requesting Council writes off. It should be noted that management has a provision of \$150,000.00 for doubtful debts (including Rates) in its Balance Sheet at the moment. It should be noted that there are additional fees and charges relating to the Emergency Services Levy of \$1,514.68, which will be requested to be written off by the Department of Fire and Emergency Services.

There are no significant financial implications associated with this write off, however after reviewing all outstanding rates and charges on the list of properties owing rates greater than 3 years, management has determined that notwithstanding this write off, there will need to be an increased provision of \$200,000.00, for doubtful debts (including rates) to be recorded in the Balance Sheet as at the end of June 2024.

Strategic Implications

Objective:	4.	Civic Leadership Objective (Continually enhance the Shire's organisational capacity to service the needs of a growing community)
Outcome:	4.1	An efficient and effective organisation
Strategy:	4.1.1	Continually improve operational efficiencies and provide effective services
Strategy:	4.1.2	Continue to enhance communication and transparency

Risk Implications

Risk	Risk Likelihood	Risk Impact / Consequence	Risk Rating	Principal Risk Theme	Risk Action Plan (Controls or Treatment proposed)
Failure to manage rates debt effectively can lead to increasing debt amount accumulation and potential for significant financial loss for the Shire.	Unlikely (2)	Major (4)	Medium (5-9)	Management of Facilities, Venues, Events and Services	Accept Officer Recommendation and write off the identified amount to close out this accumulating debt.

Risk Matrix

Consequence		Insignificant	Minor	Moderate	Major	Catastrophic
Likelihood		1	2	3	4	5
Almost Certain	5	Medium (5)	High (10)	High (15)	Extreme (20)	Extreme (25)
Likely	4	Low (4)	Medium (8)	High (12)	High (16)	Extreme (20)
Possible	3	Low (3)	Medium (6)	Medium (9)	High (12)	High (15)
Unlikely	2	Low (2)	Low (4)	Medium (6)	Medium (8)	High (10)
Rare	1	Low (1)	Low (2)	Low (3)	Low (4)	Medium (5)

A risk is often specified in terms of an event or circumstance and the consequences that may flow from it. An effect may be positive, negative or a deviation from the expected and may be related to the following objectives; occupational health and safety, financial, service interruption, compliance, reputation and environment. A risk matrix has been prepared and a risk rating of eight (8) has been determined for this item. Any items with a risk rating over 10 or greater (considered to be high or extreme risk) will be added to the Risk Register, and any item with a risk rating of 16 or greater will require a specific risk treatment plan to be developed.

Comment/Conclusion

After a protracted legal process and ongoing accumulation of the rates and other debts inclusive of penalties, legal fees and charges, a write from this debt of approximately \$38,380.49 (penalty interest continues to accumulate), is the only recourse left.

Management has made provision in 2023/24 for a doubtful debt such as this, however the quantum of the provision is always under review and will be increased to \$200,000.00 following review.

Voting Requirements

Simple Majority

OFFICERS' RECOMMENDATION

That pursuant to sections 6.12(1)(c) and 6.64(1)(b) of the Local Government Act 1995, and regulation 42(d) of the Local Government (Financial Management) Regulations 1996, Council:

1. Authorise the Administration to write off the unrecoverable rates and other charges amount of approximately \$38,380.49 (plus any additional accumulated penalty interest) following the sale of the property at 40 Northwood Street, Narrogin (Assessment A289900), as detailed in Confidential Attachment 1;
2. Request the Administration to ensure that this write-off be referenced in the Annual Financial Report, as required by the aforementioned regulation; and
3. Request the Administration to submit an application to write off all outstanding Emergency Service Levies and associated penalties, to the Department of Fire and Emergency Services.

10.3.5 SHIRE OF NARROGIN DIFFERENTIAL RATING 2024/25

File Reference	12.4.1
Disclosure of Interest	Neither the Author nor the Authorising Officer has any Impartiality, Financial or Proximity Interest that requires disclosure.
Applicant	Shire of Narrogin
Previous Item Numbers	Nil
Date	17 June 2024
Author	Amy Lazenby – Rates Officer
Authorising Officer	Mark Furr – Executive Manager Corporate & Community Services
Attachments 1. Modelled Rates Income and Parameters 2. Notice of Intention to Levy Differential Rates 2024/25	

Summary

This agenda item discusses setting of Gross Rental Valuation (GRV) Differential Rates for the 2024/25 financial year and the advertising of the Shire's Notice of Intention to Levy Differential Rates for 2024/25 and proposes the adoption of model B being a proposed effective 4% average rate increase.

Background

During the merger negotiations between the former Town of Narrogin and former Shire of Narrogin, it was agreed to a phasing-in period of 10 years to achieve the same GRV rate in the dollar between the Shire and Town ratepayers. It was also agreed that the Shire's Highbury residents GRV Minimum would be set to 75% of the Town's Minimum Payments at year 10. To achieve this outcome, differential rating for GRV properties was introduced in the 2016/17 financial year. The parity rate increase will be in addition to any across-the-board rating increase that are imposed on all rate payers.

Differential rating is required when a local government wishes to have two or more different rates in the dollar for the same rating category i.e. Unimproved Valuation (UV) or GRV. The Local Government Act (WA) 1995 sets out which characteristics must be used to determine how individual rating assessments can be grouped together.

Those approved characteristics can be summarised as follows:

- Town planning zone;
- Purpose or land usage;
- Vacant land, and
- Newly amalgamated/merged local governments.

The Local Government Act 1995 places several constraints on the setting of both a differential rate in the dollar and differential minimum payments as well as advertising and other reporting requirements.

To achieve the agreed 10-year rate parity, Council has adopted Policy 3.6 Rating – Merger Parity Transition. This policy describes the methodology of achieving rating equity between the two former local Governments.

Whilst the policy reflects the Memorandum of Understanding between the former Shire of Narrogin and former Town of Narrogin (MOU), Council should be aware that Local Government (Financial Management) Regulations 1996 Regulation 52A - Characteristics prescribed for differential general rates (Local Government Act 1995 s. 6.33) limits the use of those characteristics described in the MOU for a maximum of 5 years.

Whilst this is the ninth year of the MOU agreement, due to the COVID-19 pandemic and with the strong encouragement of the WA State Government, the Shire levied ratepayers the same amount in overall rates income in 2020/21 as it did in 2019/20, and so 2024/25 would, effectively, be the eighth year of operation.

It should be noted the current land zoning and land usage allows the continuation of arrangements negotiated in the MOU and carried forward into Council Policy 3.6 – Merger Parity Transition.

Consultation

Consultation has been undertaken with the following officers:

- Elected Members via the Monthly Briefing Session held in May;
- Chief Executive Officer;
- Executive Manager Corporate & Community Services; and
- Manager Corporate Services.

Statutory Environment

Local Government Act 1995:

- Section 6.32 Rates and service charges;
- Section 6.33 Differential general rate;
- Section 6.35 Minimum payment;
- Section 6.36 Local government to give notice of certain rates;
- Section 5.63 (1)(b) Some interests need not be disclosed; and
- Local Government (COVID19 Response) Order 2020 (Order) published 8 May 2020.

Local Government (Financial Management) Regulations 1996:

- Part 3 - 23 Rates information required;
- Part 5 - 52A Characteristics prescribed for differential general rates (Act s. 6.33); and
- Part 5 - 56 Rate notice, content of etc. (Act s. 6.41).

Department of Local Government, Sport and Cultural Industries' Rating Policies:

- Differential Rates; and
- Minimum Payments.

The proposed differential rate schedule must be advertised for a minimum of 21 days. This period allows ratepayers the ability to consider the proposed rates and make any submissions prior to Council adopting the rates in the dollar as part of the budget adoption process.

The first day it is possible to publicly advertise the proposed rates in the dollar, is Thursday 27 June 2024 and allowing for the 21 full days, the submission period would end on Friday 19 July 2024.

As the highest rate in the dollar in each rating class is not more than twice the lowest, Ministerial approval is not required.

Policy Implications

Council Policy 3.6 Rating – Merger Parity Transition. This policy describes the methodology of achieving rating equity between the two former local Governments.

Financial Implications

The rate level set by Council will underpin its ability to provide services and facilities for the 2024/25 Financial Year (and into the future).

The annualised Consumer Price Index (CPI) for March 2024 (Perth) is 3.6% pa. The estimated Local Government Cost Index for 2024/25 is 3.5%.

Council Policy prescribes the parity annual percentage increase as described below.

Annual Parity Factor Compounding % Increase	Annual % Increase - Compounding
Unimproved Value	3.21%
Unimproved Value - Minimum	5.48%
Gross Rental Value	6.92%
Gross Rental Value - Minimum	5.48%
Minimum – Rural Townsite (75%) Lesser Minimum	2.49%

Several models have been prepared using the methodology of Council Policy 3.6 Rating – Merger Parity Transition.

It should be noted that Unimproved Valuations (UV) are reviewed by Landgate annually. These have increased overall by 27.45% from 2023/24 valuations, to take effect from 1 July 2024. Valuation changes for individual assessments may vary affecting ratepayers differently, either positively or negatively.

It should also be noted that Gross Rental Valuations (GRV) were also reviewed this year for 2024/25, having previously been reviewed in 2019, as Landgate conducts GRV revaluations every five (5) years. These have increased overall by an average of 12.57% from 2019 valuations, to take effect from 1 July 2024. Valuation changes for individual assessments may vary affecting ratepayers differently, either positively or negatively.

In accordance with previous practice, annual valuation movements have been factored back to eliminate any increase/decrease in Shire rate revenue from such valuation changes. Rate in the dollar changes are based on the factor back figure.

Risk Implications

Risk	Risk Likelihood	Risk Impact / Consequence	Risk Rating	Principal Risk Theme	Risk Action Plan (Controls or Treatment proposed)
Council does not endorse the Administrations proposed model, resulting in reduced revenue for 2024/25 financial year minimising the organisation's ability to keep pace with inflation and maintain assets and services sustainably.	Possible (3)	Minor (2)	Medium (5-9)	Asset Sustainability	Accept Officer Recommendation.
That the advertised model is not perceived as acceptable by rate payers as being fair and reasonable in the current economic climate.	Unlikely (2)	Minor (2)	Low (1-4)	Engagement Practices	Accept Officer Recommendation.

Risk Matrix

Consequence		Insignificant	Minor	Moderate	Major	Catastrophic
Likelihood		1	2	3	4	5
Almost Certain	5	Medium (5)	High (10)	High (15)	Extreme (20)	Extreme (25)
Likely	4	Low (4)	Medium (8)	High (12)	High (16)	Extreme (20)
Possible	3	Low (3)	Medium (6)	Medium (9)	High (12)	High (15)
Unlikely	2	Low (2)	Low (4)	Medium (6)	Medium (8)	High (10)
Rare	1	Low (1)	Low (2)	Low (3)	Low (4)	Medium (5)

A risk is often specified in terms of an event or circumstance and the consequences that may flow from it. An effect may be positive, negative or a deviation from the expected and may be related to the following objectives; work health and safety, financial, service interruption, compliance, reputation and environment. A risk matrix has been prepared and risk ratings of six (6) and four (4) have been determined for this item. Any items with a risk rating of 10 or greater (considered to be high or extreme risk) will be added to the Risk Register, and any item with a risk rating of 16 or greater will require a specific risk treatment plan to be developed.

Strategic Implications

Shire of Narrogin Strategic Community Plan 2017-2027		
Objective:	4.	Civic Leadership Objective (Continually enhance the Shire's organisational capacity to service the needs of a growing community)
Outcome:	4.1	An efficient and effective organisation
Strategy:	4.1.1	Continually improve operational efficiencies and provide effective services

Comment/Conclusion

Model B is preferred as it allows for satisfactory levels of asset management to occur and community service levels to be maintained. The Administration is recommending Model B for advertising.

Voting Requirements

Simple Majority

OFFICERS' RECOMMENDATION

That with respect to the differential rating proposed for the Financial Year 2024/25, Council:

1. Advertise its intention, in accordance with section 6.36 of the Local Government Act 1995, to adopt the following rates in the dollar and minimum rates for the differential rating categories specified for the 2024/25 Financial Year:

Rating Class	Rate in the Dollar	General Minimum Payment \$	Lesser Minimum Payment \$
Urban Gross Rental Value	11.7572c	1,299.00	N/A
Rural Gross Rental Value	9.7665c	1,153.00	921.00

2. Adopt the Objects and Reasons for the proposed Differential Rates as per Attachment 2.

Rating Income					
Differential Rating Category	Actuals Raised (2023/24)	Rates adjustment to bring to 2023/24 Income (0% increase)	A	B	C
			3.0%	4.0%	5.0%
Rates Income Models					
GRV - Urban	4,119,618	4,119,535	4,242,954	4,284,3131	4,325,352
Percent Increase on 2023/24		0.00%	2.99%	4.00%	4.99%
GRV - Rural	149,509	149,515	163,979	165,482	166,970
Percent Increase on 2023/24		0.00%	9.68%	10.68%	11.68%
UV	1,481,583	1,481,525	1,579,232	1,594,302	1,608,785
Percent Increase on 2023/24		0.00%	6.59%	7.61%	8.59%
TOTAL RATES	5,750,710	5,750,575	5,986,165	6,044,115	6,101,107

Rating Parameters					
Differential Rating Category	Previous year (2023/24)	Rates adjustment to bring to 2023/24 Income (0% increase)	A	B	C
			3.0%	4.0%	5%
GRV – Urban					
Rate in \$	12.7712	11.3050	11.6442	11.7572	11.8703
Minimum	1,249.00	1,249.00	1,286.00	1,299.00	1,311.00
GRV – Rural					
Rate in \$	9.6959	8.8050	9.6785	9.7665	9.8546
Minimum	1,053.00	1,053.00	1,142.00	1,153.00	1,163.00
Minimum	865.00	865.00	912.00	921.00	930.00
UV					
Rate in \$	0.4558	0.3559	0.3780	0.3816	0.3851
Minimum	1,053.00	1,053.00	1,142.00	1,153.00	1,163.00



NOTICE OF INTENTION TO LEVY DIFFERENTIAL RATES 2024/25

INCLUDING STATEMENT OF RATING INFORMATION

JUNE 2024



NOTICE OF INTENTION TO LEVY DIFFERENTIAL RATES 2024/25

In accordance with section 6.36 of the Local Government Act 1995, the Shire of Narrogin hereby gives notice of its intention to impose the following differential rates and minimum payments.

Rate Code Description	Rate in the \$	Minimum Payment \$
GRV Urban	11.7572c	1,299.00
GRV Rural	9.7665c	1,153.00
GRV Rural – Highbury Townsite	9.7665c	921.00

The figures shown above are estimates and may change as part of Council deliberations after consideration of any submissions and the requirements of meeting the next year's Budget.

Electors and Ratepayers are invited to make written submissions on the proposed differential and minimum rates and any related matters for Council's consideration by **4:00pm Friday 19 July 2024** via email enquiries@narrogin.wa.gov.au. Alternatively, they can be submitted to the undersigned before the due date.

Electors and ratepayers may view a document describing the objects and reasons for each proposed rate and the minimum payment at the Shire of Narrogin offices and libraries during normal working hours or at <https://www.narrogin.wa.gov.au/news/>.

Dale Stewart
Chief Executive Officer
Shire of Narrogin
PO Box 1145 Narrogin WA 6312
enquiries@narrogin.wa.gov.au
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SUPPORTING STATEMENT OF RATING INFORMATION 2024/25

(Including Objects and Reasons for the Rating Structure)

This Statement is published by the Shire of Narrogin in accordance with Section 6.36 of the Local Government Act 1995 to advise the public of its objectives and reasons for implementing differential rates.

The purpose of levying property rates is to meet Council's budget requirements in each financial year and in future periods, to deliver services, facilities and community infrastructure to the district as a whole. Property valuations provided by the Valuer General (Landgate) are used as the basis for the calculation of rates each year.

Section 6.36 of the Local Government Act provides the ability to differentially rate properties based on certain characteristics. The application of differential rating maintains equity in the rating of properties across the Shire.

During the merger negotiations between the Shire and Town of Narrogin, it was agreed that the former Shire Rate Payers will be provided a 10-year period to achieve rating parity with the former Town of Narrogin Rate Payers. It is noted that 2024/25 will be the eighth year of this 10-year period.

Powers to Rate Property

There are two property valuation methods available under Section 6.28 of the Act, Gross Rental Value (GRV) and Unimproved Value (UV).

GRV is 'the gross annual rental that the land might reasonably be expected to realise if let on a tenancy agreement from year to year upon condition that the landlord is liable for all rates, taxes and other charges thereon and the insurance and other outgoings necessary to maintain the value of the land'.¹

UV land is 'valued as if it has had no improvements (as though) it remains in its original, natural state, any land degradation is taken into account'.¹

As a default, a local government sets a single general rate in the dollar for each valuation type (GRV and UV). This is termed a uniform general rate in the valuation dollar and applied to all properties within a valuation type regardless of their land use.

Rather than adopting a single uniform general rate, a local government may apply different rates in the dollar within either valuation category (GRV or UV). A differential rate can be applied using the following characteristics, or combination thereof:

- The zoning of the land;
- The predominant use (as determined by the local government);
- If the land is vacant or not.

Location can only be used as a characteristic in setting a differential rate in very limited circumstances (namely a Lesser minimum rate).

¹ Landgate, Rating and Taxing Valuations Publication , February 2012

Objections and Appeals to a Valuation

Objections to valuations must be lodged with the Valuer General's Office within 60 days after issue of the rates notice. Rates are still required to be paid by the due date if an objection is lodged with a refund paid if the objection is successful. Forms are available from the Shire Office or on the Shire website.

Under the provisions of the Local Government Act 1995, a property owner is able to lodge an objection to rates imposed by a Council on the following grounds:

- There is an error on the rate assessment, either in respect to the owners or property details; or
- The characteristics of the land differ from that used in the differential rating system.

The objection is to be received within 60 days of the issue of the rate notice. Please contact Landgate staff if you would like to discuss this matter further.

Exemptions, Instalments, Concessions and Waivers

The Shire requires organisations seeking exemption from rates in accordance with section 6.26 of the Act to make application to the Council for determination.

The Shire will provide concessions to Pensioners in accordance with the requirements of the Rates and Charges (Rebates and Deferrals) Act 1992.

The Council will offer two rate payment options as follows:

- Payment in full 35 days after the date of service appearing on the rate notice; and
- Four instalments.

Interest on overdue rates not paid in accordance with the two payment options will be subject to an overdue interest rate set by the Council at the time of adoption the annual budget.

Ratepayers with unpaid and overdue rates may be offered a scheme of arrangement for payment, subject to the approval of the Chief Executive Officer.

GROSS RENTAL VALUES (GRV)

The Local Government Act 1995 provides that properties of a non-rural purpose be rated using the Gross Rental Valuation (GRV) as the basis for the calculation of annual rates. Property values are independently assessed for all GRV properties every five years in rural (non-metropolitan) areas of WA.

The base GRV valuation is effective from 1 July 2024. Interim valuations are provided to the Shire regularly by the Valuer General if changes, such as subdivisions or strata title of property, amalgamations, building constructions, demolition, additions and/or property rezoning occur during the year. In such instances, the Shire amends the valuation on record and recalculates the rates for the affected properties for the purpose of issuing an interim rate notice.

The general rates for the 2024/25 financial year have been determined by Council on the basis of raising the revenue required to meet the deficiency between the total estimated expenditure proposed in the budget and the estimated revenue to be received from all sources other than rates and also considering the extent of any increase in rating over the level adopted in the previous year.

GRV – Differential Rates

The Council intends to adopt differential rating principles for GRV category properties based upon the land use as follows:

GRV Urban

GRV properties used as General Residential, Commercial, Vacant, Miscellaneous, Multi Residential, Industrial under the former Town of Narrogin's Town Planning Scheme No 2.

Objects and Reasons

To allow the Shire to impose a higher rate in the dollar to the GRV - Urban ratepayers to allow the phasing in of rate parity with Urban Ward ratepayers.

During the merger negotiations between the former Shire and Town of Narrogin, it was agreed that the former Shire ratepayers will be allowed a 10-year period to achieve rating parity with the former Town of Narrogin Rate Payers.

Differential Rate Category	Rate in the \$	General Minimum Payment
GRV Urban	11.7572c	\$1,299

GRV Rural

GRV Properties zoned Rural Townsite, Industrial and Special Rural under the former Shire of Narrogin's Town Planning Scheme No 2.

Objects and Reasons

To allow the Shire to set a lower rate in the dollar to GRV - Rural ratepayers to allow for the phasing in of rating parity over a 10-year period.

During the merger negotiations between the Shire and Town of Narrogin, it was agreed that the former Shire Rate Payers will be allowed a 10-year period to achieve rating parity with the former Town of Narrogin Rate Payers.

Differential Rate Category	Rate in the \$	General Minimum Payment
GRV Rural	9.7665c	\$1,153

UNIMPROVED VALUES (UV)

The Shire does not intend to differentially rate UV category properties.

Minimum Payments

Applying a minimum payment seeks to ensure all ratepayers contribute to basic services and facilities and Council has determined two levels of General minimums and one Lesser minimum.

The minimum rates have been determined by Council on the basis that all ratepayers must make a reasonable contribution to the cost of the Local Government services/facilities.

Lesser Minimum Payment

A Lesser minimum of \$921.00 is proposed for assessments in the Highbury Townsite. During the merger negotiations between the Shire and Town of Narrogin, it was agreed that the former

Shire Ratepayers will be allowed a 10-year period to achieve rating parity with the former Town of Narrogin Ratepayers to reflect their smaller impact on services.

End

10.3.6 CORPORATE BUSINESS PLAN – 2024 REVIEW

File Reference	4.2.2
Disclosure of Interest	Neither the Author nor Authorising Officer have any Impartiality, Financial or Proximity Interest that requires disclosure.
Applicant	Nil
Previous Item Numbers	Nil
Date	18 June 2024
Author	Mark Furr - Executive Manager Corporate & Community Services
Authorising Officer	Dale Stewart - Chief Executive Officer
Attachments 1. Corporate Business Plan 2024-28	

Summary

To consider the annual review of the Corporate Business Plan as required by the Local Government Act 1995.

Background

The Corporate Business Plan (CBP) is one of two core components of planning for the future, together with the Strategic Community Plan.

Consultation

The Executive Management Team has provided input into the document.

Statutory Environment

The following legislation applies:

Local Government Act 1995:

- Section 5.56 (1) A local government is to plan for the future of the district.
- Section 6.2 – Local government to prepare annual budget.

Local Government (Administration) Regulations 1996:

- Regulation 19DA (4) – A local government is to review the current corporate business plan for its district every year.

Financial Implications

All of the proposed modifications for year 1 of the CBP will be reflected in the Draft Annual Budget for 2024/25.

Policy Implications

There are no Council policies associated with this item.

Strategic Implications

Shire of Narrogin Strategic Community Plan 2017-2027		
Objective:	4.	Civic Leadership Objective (Continually enhance the Shire's organisational capacity to service the needs of a growing community)
Outcome:	4.1	An efficient and effective organisation
Strategy:	4.1.1	Continually improve operational efficiencies and provide effective services
Strategy:	4.1.2	Continue to enhance communication and transparency

Comment/Conclusion

The current Corporate Business Plan was adopted by Council on 24 May 2023.

The Plan has been updated by:

Forecast Statement of Funding and Capital Program:

- Updating of 2024/25, 2025/26 and 2026/27 financial data from the current Long Term Financial Plan; and
- Inclusion of 2027/28 financial data from the current Long Term Financial Plan.

Service Delivery:

- Updating of 2024/25, 2025/26 and 2026/27 planned actions; and
- Inclusion of 2027/28 planned actions.

The Capital Projects have been amended to consider projects brought forward or deferred.

Approximately \$19.28M of capital spend, has been identified for capital projects in 2024/25 and proposed works and projects in the Corporate Business Plan include:

- Roads to Recovery, Regional Road Group and Municipal Funded Road Works;
- Various Footpath Projects;
- Road Plant Purchases;
- Replacement of Aquatics Plant and Equipment at the Narrogin Regional Leisure Centre;
- Further improvements at the Caravan Park;
- Re-roofing of the Shire Administration building; and
- Town Hall upgrades.

Risk Implications

Risk	Risk Likelihood	Risk Impact / Consequence	Risk Rating	Principal Risk Theme	Risk Action Plan (Controls or Treatment proposed)
That the Council does not adopt the Corporate Business Plan at (all) or delaying its adoption, resulting in non-compliance with the Local Government Act 1995 and/or delay in the adoption of the Budget	Possible (3)	Minor (2)	Medium (5-9)	Compliance Requirements	Accept Officer Recommendation

Risk Matrix

Consequence Likelihood		Insignificant	Minor	Moderate	Major	Catastrophic
		1	2	3	4	5
Almost Certain	5	Medium (5)	High (10)	High (15)	Extreme (20)	Extreme (25)
Likely	4	Low (4)	Medium (8)	High (12)	High (16)	Extreme (20)
Possible	3	Low (3)	Medium (6)	Medium (9)	High (12)	High (15)
Unlikely	2	Low (2)	Low (4)	Medium (6)	Medium (8)	High (10)
Rare	1	Low (1)	Low (2)	Low (3)	Low (4)	Medium (5)

A risk is often specified in terms of an event or circumstance and the consequences that may flow from it. An effect may be positive, negative or a deviation from the expected and may be related to the following objectives; work health and safety, financial, service interruption, compliance, reputation and environment. A risk matrix has been prepared and a risk rating of six (6) has been determined for this item. Any items with a risk rating of 10 or greater (considered to be high or extreme risk) will be added to the Risk Register, and any item with a risk rating of 16 or greater will require a specific risk treatment plan to be developed.

Voting Requirements

Absolute Majority

OFFICERS' RECOMMENDATION

That pursuant to regulation 17DA(4) of the Local Government (Administration) Regulations 1996, Council adopt the Corporate Business Plan 2024-2028 as presented.



Corporate Business Plan 2024 – 2028



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Review adopted at Ordinary Meeting of Council held 27 June 2018

Review adopted at Ordinary Meeting of Council held 24 July 2019

Review adopted at Ordinary Meeting of Council held 28 July 2020

Review adopted at Ordinary Council Meeting held 27 July 2022

Review adopted at Ordinary Council Meeting held 24 May 2023

Review adopted at Ordinary Council Meeting held 26 June 2024

Our Vision:

“A leading regional economic driver and a socially interactive and inclusive community”

Our Mission: Provide leadership, direction and opportunities for the community.

Key Principles: In achieving the Vision and Mission, we will set achievable goals and work with the community to maintain a reputation of openness, honesty and accountability. In doing so, we will:

- respect the points of view of individuals and groups;
- build on existing community involvement;
- encourage community leadership;
- promote self-reliance and initiative;
- recognise and celebrate achievement;
- support the principles of social justice; and
- acknowledge the value of staff and volunteers.

Foreward

The Strategic Community Plan outlines community long term (10+ years) vision, values, aspirations and priorities, with reference to other Shire plans, information and resourcing capabilities.

This plan, the Corporate Business Plan, provides the internal business planning tool that translates Council priorities into operations within the resources available. It details the services, operations, projects, and the associated cost, the Shire intends to deliver over the next four years.



Leigh Ballard
Shire President

26 June 2024



Dale Stewart
Chief Executive Officer

The Shire of Narrogin acknowledges the Noongar people as traditional custodians of this land and their continuing connection to land and community. We pay our respect to them, to their culture and to their Elders past and present.

Planning Framework

This Corporate Business Plan 2024-2028, together with the Strategic Community Plan 2017-2027, is the Shire of Narrogin's Plan for the Future and has been prepared to achieve compliance with *the Local Government (Administration) Regulations 1996*.

Under *Local Government (Administration) Regulations 1996* Regulation 19DA (3),

"A Corporate Business Plan for a district is to:

- a) set out, consistently with any relevant priorities in the Strategic Community Plan, a local government's priorities for dealing with the objectives and aspirations of the community in the district; and
- b) govern a local government's internal business planning by expressing a local government's priorities by reference to operations that are within the capacity of the local government's resources; and
- c) develop and integrate matters relating to resources, including asset management, workforce planning and long-term financial planning."

In the preparation of the annual budget the local government is to have regard to the contents of the Plan for the Future as per Section 6.2(2) of the *Local Government Act 1995*.

Development of the Plan has also been influenced by the Department of Local Government, Sport and Cultural Industries Framework and Guidelines for Integrated Planning and Reporting.

Strategic Community Plan

The Narrogin community had a strong involvement and voice in the development of the Strategic Community Plan. Commencing in January 2017, the community were invited to share their visions and aspirations for the future of Narrogin, and the Plan has subsequently been reviewed and updated to reflect the community aspirations.

The community shared what they considered most special about the district and their aspirations for the future. The sense of community and a country town feel was highly regarded along as was the multicultural community and the history of the district. It was evident the community values their natural environment and the many native reserves. High quality regional sporting and recreation facilities, along with medical and education services available in Narrogin were also important.

The community strongly identified their desire for further economic development, supporting current local industry whilst pursuing opportunities for economic diversity and growth.

This information provided a valuable insight into the key issues and aspirations, as perceived by the local community. Importantly for the Council, these views have helped establish clear priorities and shaped the visions, values, objectives and strategies contained within the Strategic Community Plan 2017 - 2027.

Planning Framework (continued)

Corporate Business Plan

Achieving the community's vision and the Shire's strategic objectives requires the development of actions to address each strategy contained within the Strategic Community Plan. Careful operational planning and prioritisation is required to achieve the outcomes due to the constraints of limited resources. This planning process is formalised by the development of this Corporate Business Plan. The Corporate Business Plan then, in turn, converts the Strategic Community Plan into action via the adoption of an Annual Budget.

The Corporate Business Plan 2024 - 2028 must be reviewed annually to assess the progress of projects and realign the Plan's actions and priorities based on current information and available funding.

Actions requiring funding will only be undertaken once approved within the statutory budget and subject to funding availability. Along with achieving the community aspirations and objectives the Corporate Business Plan draws on information contained within the following strategic documents.

Asset Management Plans

The Shire has developed Asset Management Plans for major asset classes in accordance with the Asset Management Policy. The Asset Management Plans form a component of an overall Asset Management Strategy which addresses the Shire's current asset management processes and sets out the steps required to continuously improve the management of Shire controlled assets.

Capital renewal estimates contained within the Asset Management Plans have been considered to the extent the financial and workforce resources are available to enable the renewals to occur.

Workforce Plan

The Workforce Plan provides the workforce management and resource strategies necessary to deliver the objectives, outcomes and strategies of the Shire's Strategic Community Plan.

Workforce issues have been considered during the development of this Corporate Business Plan and the financial impacts of the Workforce Plan captured within the Long Term Financial Plan. A combination of workforce and financial constraints has influenced the prioritisation of actions within this Plan.

Long Term Financial Plan

The Shire of Narrogin is planning for a positive and sustainable future. The Shire seeks to maintain, and where possible, improve service levels into the future while maintaining a healthy financial position.

During the development of this Corporate Business Plan, the Long Term Financial Plan was updated to confirm the financial capability to undertake the planned actions and ensure integration with this Plan. The results of this update are reflected within the Forecast Statement of Funding on the following page.

Review of Plan

In accordance with statutory requirements, the Corporate Business Plan is reviewed and updated annually. The review of this Plan occurred following a major review of the Strategic Community Plan in 2017.

Forecast Statement of Funding

The following Statement is extracted from the Long Term Financial Plan and draft budget 2024-25 to provide an indication of the activities proposed in the Corporate Business Plan. This forecast is underpinned by a number of assumptions that provide a reasonable estimate of activity and should not be construed as final or relied upon for investment activities.

RATE SETTING STATEMENT

	PROPOSED ESTIMATES			
	2024/25	2025/26	2026/27	2027/28
OPERATING REVENUE				
General Purpose Funding	\$615,422	\$640,039	\$665,641	\$692,266
Governance	\$3,900	\$4,056	\$4,218	\$4,387
Law, Order Public Safety	\$323,070	\$335,993	\$349,432	\$363,410
Health	\$34,315	\$35,687	\$37,115	\$38,599
Education and Welfare	\$2,483,575	\$2,582,918	\$2,686,235	\$2,793,684
Housing	\$18,357	\$19,091	\$19,855	\$20,649
Community Amenities	\$1,370,362	\$1,425,177	\$1,482,184	\$1,541,471
Recreation and Culture	\$551,885	\$573,961	\$596,919	\$620,796
Transport	\$342,230	\$355,919	\$370,156	\$384,962
Economic Services	\$660,141	\$686,547	\$714,009	\$742,569
Other Property and Services	\$183,456	\$190,794	\$198,426	\$206,363
TOTAL REVENUE	\$6,586,713	\$6,850,182	\$7,124,189	\$7,409,156
LESS OPERATING EXPENDITURE				
General Purpose Funding	(\$423,504)	(\$440,444)	(\$458,061)	(\$476,384)
Governance	(\$849,833)	(\$883,826)	(\$919,179)	(\$955,946)
Law, Order, Public Safety	(\$986,387)	(\$1,025,842)	(\$1,066,876)	(\$1,109,551)
Health	(\$313,277)	(\$325,808)	(\$338,841)	(\$352,394)
Education and Welfare	(\$2,930,375)	(\$3,047,590)	(\$3,169,493)	(\$3,296,273)
Housing	(\$43,577)	(\$45,320)	(\$47,133)	(\$49,018)
Community Amenities	(\$1,615,215)	(\$1,679,823)	(\$1,747,016)	(\$1,816,897)
Recreation and Culture	(\$4,797,726)	(\$4,989,635)	(\$5,189,220)	(\$5,396,789)
Transport	(\$4,162,964)	(\$4,329,483)	(\$4,502,662)	(\$4,682,768)
Economic Services	(\$1,001,148)	(\$1,041,194)	(\$1,082,841)	(\$1,126,155)
Other Property & Services	(\$153,964)	(\$160,122)	(\$166,527)	(\$173,188)
TOTAL EXPENSES	(\$17,277,968)	(\$17,528,643)	(\$18,229,789)	(\$19,435,364)
Non-cash amounts excluded from operating activities (Depreciation)	\$3,379,938	\$3,515,136	\$3,655,741	\$3,801,971
Amount Attributable to Operating Activities	(\$963,013)	(\$1,001,533)	(\$1,041,595)	(\$1,083,259)

RATE SETTING STATEMENT (Continued)

	PROPOSED ESTIMATES			
	2024/25	2025/26	2026/27	2027/28
Investing Activities				
Non-Operating Grants, Subsidies and Contributions for the Development of Assets	5,600,337	5,824,350	6,057,324	6,299,617
Purchase Land	(100,000)	\$0	\$0	\$0
Purchase Buildings	(\$5,142,050)	(\$5,347,732)	(\$5,561,641)	(\$5,784,107)
Purchase Furniture and Equipment	(\$344,434)	(\$356,489)	(\$368,966)	(\$383,725)
Purchase Plant and Equipment	(\$2,602,050)	(\$1,047,500)	(\$782,500)	(\$811,500)
Infrastructure Assets - Roads	(\$2,742,667)	(\$2,838,660)	(\$2,938,013)	(\$3,055,534)
Infrastructure Assets - Footpaths	(\$277,599)	(\$287,315)	(\$297,371)	(\$309,266)
Infrastructure Assets - Drainage	\$0	(\$30,000)	(\$31,050)	(\$32,292)
Infrastructure Assets - Parks & Gardens	(\$345,000)	(\$75,000)	(\$77,625)	(\$80,730)
Infrastructure Assets - Other	(\$7,039,700)	(\$350,000)	(\$362,250)	(\$376,740)
Infrastructure Assets – Bridges	(\$687,000)	(\$711,045)	(\$735,932)	(\$765,369)
Infrastructure Assets – Aerodromes	\$0	\$0	(\$50,000)	(\$52,000)
Proceeds from Sale of Assets	\$365,000	\$367,000	\$265,000	\$340,500
Amount Attributable to Investing Activities	(\$4,407,346)	(\$4,583,640)	(\$4,766,986)	(\$4,957,665)
Financing Activities				
Repayment of Debt - Loan Principal	(\$143,992)	(\$149,032)	(\$154,248)	(\$159,647)
Proceeds from New Borrowings	\$2,846,000	\$0	\$0	\$0
Transfer to Reserves	\$3,435,303	\$3,572,715	\$3,715,624	\$3,864,249
Transfers from Reserves	\$5,410,413	\$5,626,829	\$5,851,902	\$6,085,979
Amount Attributable to Financing Activities	\$1,830,423	\$1,903,640	\$1,979,785	\$2,058,977
Budget Deficiency before General Rates	(\$6,044,115)	(\$6,285,880)	(\$6,537,315)	(\$6,798,807)
TO BE MADE UP FROM GENERAL RATES	\$6,044,115	\$6,285,880	\$6,537,315	\$6,798,807
Estimated Surplus/(Deficit)	\$0	\$0	\$0	\$0

Capital Program

A number of projects are forecast to be undertaken during the life of the Plan which result in capital expenditure. The activities are summarised below along with an indication of the forecast capital expenditure extracted from the Long-Term Financial Plan.

Key projects within the Plan are:

Item	Proposed Estimates			
	2024/25 \$	2025/26 \$	2026/27 \$	2027/28 \$
Law, Order and Public Safety				
Additional Public CCTV Camera's	100,000			
Ranger Vehicle		35,000		35,000
Speed Signs	50,000			
Fire Prevention				
DFES Vehicles	992,000			
SES & BFB Joint facility (100% DFES funded)	4,473,000			
SES Building Project (Funded)	55,500			
Health				
Vehicle Purchases	70,000		35,000	
Home & Community Care				
Relocation of Home & Community Care			200,000	
Homecare Equipment		15,000		
Vehicle Purchases		30,000		30,000
Aged & Disability				
Future Building Renewal Projects	50,000			
Sanitation				
Liquid Waste Ponds	35,000			
Other Community Amenities				
Thomas Hogg Ablutions Upgrade	35,000			
Thomas Hogg Sewerage Upgrade	10,000			
Thomas Hogg Effluent Tank Upgrade	25,000			
Townsites Entrance Statements Replacements		30,000	30,000	
Dog Exercise Area (Enclosed Off-Leash)		65,000		
Townscape Committee Projects	124,000	25,000	25,000	25,000
Future Building Renewal Projects		50,000	50,000	75,000
Recycling Shed	50,000			
Public Halls and Civic Centres				
Town Hall Stage Upgrade/EWP/Rigging	90,000			
Narrogin Regional Leisure Centre				
Outdoor Netball Courts - Shelter & Seating		70,000		
NRLC Court Improvements and Equipment	50,000	160,000		
Covered Stage -Rec Centre west end of Alby Park		75,000		
Building & Infrastructure Improvements (Funded)	239,200			

Future Building Upgrade Projects			100,000	
Future Infrastructure Projects	6,792,000	50,000	50,000	
Other Recreation and Sport				
James Park Shelter/Tables		10,000		
Kelliher Park Shelters/Tables		15,000		
Water Meters / Bubbler James and McKenzie Park			20,000	
Softfall Nippa Humes Park			50,000	
Playground at Clayton Oval		50,000		
BMX Track Toilets		20,000		
Hawks Football Club Building Project			900,000	
UGSHA Ablutions			600,000	
UGSHA Pitch Resurfacing			235,000	
Narrogin Bowling Club Building Project				450,000
Gymnastics Club Relocation to NRLC Precinct			1,500,000	
Future Building Renewal Projects			50,000	
Future Infrastructure Projects		150,000	150,000	450,000
Speedway Lighting Project	200,000			
Future Building Upgrade Projects			80,000	
Libraries				
Sewerage Realignment - Library Building	120,000			
Library Equipment	35,000			
Heritage				
War Memorial Lighting		25,000		
Future Infrastructure Projects		50,000	100,000	
Railway Station Level Crossing		80,000		
Other Culture				
Mural Art - Goods Shed		50,000		
Walk Trails (Feasibility Study)	28,000			
RSL Refurbishment				300,000
Construction - Streets, Roads, Bridges & Depots				
Municipal Funded Road Works	578,600	700,000	750,000	800,000
Roads To Recovery Funded Road Works	350,700	378,000	378,000	378,000
Regional Road Group Funded Road Works	1,012,500	525,000	525,000	525,000
WSFN Funded Road Works	801,000			
Black Spot Road Project		250,000		
Bridge Works	687,000			
Various Footpath Projects	277,000	50,000	50,000	50,000

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Future Park Projects	35,000	20,000	20,000	
Future Building Renewal Projects (Depot)			20,000	
Future Building Upgrade Projects	180,000	180,000	150,000	
Road Plant Purchases				
Plant Replacement	1,235,000	496,000	476,000	496,000
Tourism And Area Promotion				
Caravan Park Improvements	35,000			
Other Economic Services				
Good Shed Roof & Wall Restoration	285,000			
Purchase of Land & Development	100,000			
Vehicle Purchases		25,000		
Administration Overheads				
Admin Vehicle Replacements	35,000	100,000		
ICT Equipment Upgrades	45,000	25,000	30,000	35,000
Total	19,280,500	3,804,000	6,504,000	3,649,000
Proposed Funding	2024/25	2025/26	2026/27	2027/28
Grants	12,983,500	825,000	3,914,000	928,850
Reserves	1,115,000	573,000	603,000	633,150
Loan	2,846,000			
Proceeds on Disposal	365,000			
Contributions	165,000	-	-	-
Municipal	1,806,000	1,893,000	1,987,000	2,087,000
Total	19,280,500	3,291,000	6,504,000	3,649,000

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Service Delivery

The Shire of Narrogin delivers services to its community in line with its mission, values and four key strategic objectives as set out within the Strategic Community Plan.

Each of the four objectives has several outcomes the Shire seeks to achieve over the 10+ years of the Strategic Community Plan. For each objective, one or more desired outcomes has been defined along with strategies to achieve the outcomes.

The outcomes were developed after considering the community engagement process and other external factors such as the available plans published by other government agencies.

The tables on the following pages detail future actions to be undertaken for each strategy. Prioritisation of the actions is reflected by the square indicating when the action is planned to be undertaken. This prioritisation guides the delivery of services and implementation of the actions.

The table below summarises the desired outcomes under each of the four key themes and strategic objectives.

	Objectives	Outcomes	
ECONOMIC	<i>Support growth and progress, locally and regionally</i>	Outcome 1.1 Outcome 1.2 Outcome 1.3 Outcome 1.4	Growth in revenue opportunities Increased tourism An effective well maintained transport network Agriculture opportunities maintained and developed
SOCIAL	<i>To provide community facilities and promote social interaction</i>	Outcome 2.1 Outcome 2.2 Outcome 2.3 Outcome 2.4 Outcome 2.5	Provision of youth services Build a healthier and safer community Existing strong community spirit and pride is fostered, promoted and encouraged Cultural and heritage diversity is recognised A broad range of quality education services and facilities servicing the region
ENVIRONMENT	<i>Conserve, protect and enhance our natural and built environment</i>	Outcome 3.1 Outcome 3.2 Outcome 3.3 Outcome 3.4	A preserved natural environment Effective waste services Efficient use of resources A well maintained built environment
CIVIC LEADERSHIP	<i>Continually enhance the Shire's organisational capacity to service the needs of a growing community</i>	Outcome 4.1 Outcome 4.2	An efficient and effective organisation An employer of choice

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Economic Objective

Support growth and progress, locally and regionally

The following tables reflect the future actions to be undertaken for each strategy. The prioritisation of the actions is reflected by a square indicating when the action is planned to be undertaken.

Strategy	Action No.	Actions	2024-25	2025-26	2026-27	2027-28	2028 Onwards
Attract new industry, business, investment and encourage diversity whilst encouraging growth of local business	1.1.1.1	Develop and implement an economic development strategy	■	■	■	■	→
	1.1.1.2	Development of new industrial area	■	■	■	■	→
	1.1.1.3	Develop stakeholder relationships for exporting			■		
	1.1.1.4	Lobby for improved communication services within the district	■	■	■	■	→
	1.1.1.5	Engage with potential investors	■	■	■	■	→
	1.1.1.6	Advocate for Narrogin to be a centre for provision of Government services	■	■	■	■	→
Promote Narrogin and the Region	1.1.2.1	Review and update the Business Prospectus		■	■	■	→
	1.1.2.2	Maintain relationships with key stakeholders	■	■	■	■	→
	1.1.2.3	Investigate development of regional industrial hub			■		
	1.1.2.4	Engage with regional organisations for the promotion of the Region	■	■	■	■	→
	1.1.2.5	Finalise & activate the Local Planning Scheme & Local Planning Strategy - Endorsed by WA Planning Commission 07/20	Completed				
Promote Narrogin's health and aged services including aged housing	1.1.3.1	Advocate for increased provision of health and aged services in the Shire of Narrogin	■	■	■	■	→
	1.1.3.2	Advocate for the provision of specialist surgical services	■	■	■	■	→
	1.1.3.3	Identify and promote the development of further aged housing			■		
	1.1.3.4	Continue to support the provision of Home & Community Care and aged services including relocation of Jessie House activities to more appropriate location to enable expansion and improvements	■	■	■	■	→

Economic Objective (continued)

Strategy	Action No.	Actions	2024-25	2025-26	2026-27	2027-28	2028 Onwards
Promote, develop tourism and maintain local attractions	1.2.1.1	Develop and activate a Tourism Strategy - Adopted 25/5/20			Completed		
	1.2.1.2	Support tourism activities within the district in accordance with Strategy	■	■	■	■	→
	1.2.1.3	Support sport, art and cultural events, recognising the economic benefit they provide	■	■	■	■	→
	1.2.1.4	Review and update the Caravan Park Master Plan			Completed		
	1.2.1.5	Maintain Shire controlled local tourist attractions	■	■	■	■	→
	1.2.1.6	Support and encourage local micro tourism	■	■	■	■	→

Strategy	Action No.	Actions	2024-25	2025-26	2026-27	2027-28	2028 Onwards
Maintain and improve road network in line with resource capacity	1.3.1.1	Maintain and improve road network in line with Asset Management Plans	■	■	■	■	→
Review and implement the Airport Master Plan	1.3.2.1	Implement Airport Master Plan	■	■	■	■	→
	1.3.2.2	Review Airport Master Plan	■				

Strategy	Action No.	Actions	2024-25	2025-26	2026-27	2027-28	2028 Onwards
Support development of agricultural services	1.4.1.1	Continue to engage with stakeholders within agricultural industry to ensure appropriate service provision	■	■	■	■	→
	1.4.1.2	Ensure appropriate consideration of the agricultural industry requirements in the preparation of the Local Planning Scheme and Local Planning Strategy	■	■	■	■	→
	1.4.1.3	Ensure agriculture is an integral element of the proposed Economic Development Strategy		■			
	1.4.1.4	Advocate for the interests of agriculture as a critical component of our economy	■	■	■	■	→

Social Objective

To provide community facilities and promote social interaction

The following tables reflect the future actions to be undertaken for each strategy. The prioritisation of the actions is reflected by a square indicating when the action is planned to be undertaken.

Strategy	Action No.	Actions	2024-25	2025-26	2026-27	2027-28	2028 Onwards
Develop and implement a youth strategy	2.1.1.1	Finalise youth strategy and engage with stakeholders. Youth Engagement, Strategy and Development Plan 2019/20 Adopted 27/10/20			Completed		
	2.1.1.2	Provide youth services and facilities in accordance with the youth strategy	■	■	■	■	→
	2.1.1.3	Work with local youth service providers	■	■	■	■	→

Strategy	Action No.	Actions	2024-25	2025-26	2026-27	2027-28	2028 Onwards
Support the provision of community security services and facilities	2.2.1.1	Develop a community safety and security strategy		■			
	2.2.1.2	Maintain and further develop the CCTV network	■	■	■	■	→
	2.2.1.3	Advocate for increased police and justice services	■	■	■	■	→
Advocate for mental health and social support services	2.2.2.1	Lobby for increased mental health support services	■	■	■	■	→
	2.2.2.2	Lobby for increased social support services	■	■	■	■	→
Continue and improve provision of in-home care services	2.2.3.1	Continue to support the provision of Home and Community Care and aged services	■	■	■	■	→
	2.2.3.2	Lobby for increased funding for Home and Community Care and in-home care services	■	■	■	■	→

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Social Objective (continued)

Strategy	Action No.	Actions	2024-25	2025-26	2026-27	2027-28	2028 Onwards
Develop and activate Sport and Recreation Master Plan	2.3.1.1	Develop Narrogin Regional Leisure Centre and Clayton Oval Concept Plan for Precinct	■	■	■	■	→
	2.3.1.2	Activate Sport and Recreation Master Plan / Concept Plans	■	■	■	■	→
Engage and support community groups and volunteers	2.3.2.1	Continue to provide the community chest	■	■	■	■	→
	2.3.2.2	Advocate on behalf of volunteer and community groups	■	■	■	■	→
	2.3.2.3	Continue to support emergency services including improved facilities	■	■	■	■	→
Facilitate and support community events	2.3.3.1	Continue to support existing community events	■	■	■	■	→
	2.3.3.2	Investigate opportunities and support for new community events	■	■	■	■	→
Provide improved community facilities (e.g. library/recreation)	2.3.4.1	Improve and continue to provide community facilities in line with Asset Management Plans	■	■	■	■	→
	2.3.4.2	Consider expanding services and facilities at the Library		■			
Encourage and support continued development of arts and culture	2.3.5.1	Continue to support arts and cultural activities within the district	■	■	■	■	→

Strategy	Action No.	Actions	2024-25	2025-26	2026-27	2027-28	2028 Onwards
Maintain and enhance heritage assets	2.4.1.1	Review Municipal Heritage List New List adopted 27/11/19			Completed		
	2.4.1.2	Maintain heritage assets in line with AMP's	■	■	■	■	→
	2.4.1.3	Seek and support initiatives for enhancement of heritage assets in the district	■	■	■	■	→
Support our Narrogin cultural and Indigenous community	2.4.2.1	Continue to engage with cultural and Indigenous community	■	■	■	■	→
	2.4.2.2	Adopt a Community Engagement Strategy. Policy adopted 8/10/19			Completed		
	2.4.2.3	Lobby for long term funding in support of cultural and indigenous initiatives	■	■	■	■	→

Social Objective (continued)

Strategy	Action No.	Actions	2024-25	2025-26	2026-27	2027-28	2028 Onwards
Advocate for increased and improved education facilities for the region	2.5.1.1	Continue lobbying for increased and improved education facilities	■	■	■	■	➔
Advocate for and support increased and improved education services	2.5.2.1	Continue lobbying for increased and improved education services	■	■	■	■	➔

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Environment Objective

Conserve, protect and enhance our natural and built environment

The following tables reflect the future actions to be undertaken for each strategy. The prioritisation of the actions is reflected by a square indicating when the action is planned to be undertaken.

Strategy	Action No.	Actions	2024-25	2025-26	2026-27	2027-28	2028 Onwards
Conserve, enhance, promote and rehabilitate the natural environment	3.1.1.1	Develop and implement a Local Biodiversity Strategy					■
	3.1.1.2	Develop and implement Natural Resource Plans					■
	3.1.1.3	Continue to implement and support Foxes Lair Management Plan	■	■	■	■	→
	3.1.1.4	Continue to implement and support Railway Dam Management Plan	■	■	■	■	→
	3.1.1.5	Continue Landcare Tree Planting Grants (as Reserve Funds allow)	■	■	■	■	→

Strategy	Action No.	Actions	2024-25	2025-26	2026-27	2027-28	2028 Onwards
Support the provision of waste services	3.2.1.1	Continue to investigate regional waste facility			Discontinued		
	3.2.1.2	Continue to implement the waste management plan	■	■	■	■	→
	3.2.1.3	Undertake improved education and support for community and individual recycling initiatives	■	■	■	■	→

Strategy	Action No.	Actions	2024-25	2025-26	2026-27	2027-28	2028 Onwards
Increase resource usage efficiency	3.3.1.1	Seek funding to improve and expand treated waste water irrigation system - Completed 2021			Completed		
	3.3.1.2	Continue to work with research institutes and / or other organisations to promote and support the use of alternative energy	■	■	■	■	→
	3.3.1.3	Seek funding to harvest and reutilise storm water and implement – Completed 2022			Completed		

Strategy	Action No.	Actions	2024-25	2025-26	2026-27	2027-28	2028 Onwards
Improve and maintain built environment	3.4.1.1	Maintain and implement Asset Management Plans	■	■	■	■	→
	3.4.1.2	Investigate and implement Shire of Narrogin (incorporating Narrogin and Highbury) Townscape Plan	■	■	■	■	→

Strategy	Action No.	Actions	2024-25	2025-26	2026-27	2027-28	2028 Onwards
	3.4.1.3	Review the Shire of Narrogin Townscape Plan		■			
	3.4.1.4	Refurbish Railway Station and activate heritage precinct		Completed			

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Civic Leadership Objective

Continually enhance the Shire's organisational capacity to service the needs of a growing community

The following tables reflect the future actions to be undertaken for each strategy. The prioritisation of the actions is reflected by a square indicating when the action is planned to be undertaken.

Strategy	Action No.	Actions	2024-25	2025-26	2026-27	2027-28	2028 Onwards
Continually improve operational efficiencies and provide effective services	4.1.1.1	Provide quality customer service	■	■	■	■	→
	4.1.1.2	Review, update and maintain strategic and operational plans	■	■	■	■	→
	4.1.1.3	Continue to provide quality regulatory services (planning/building /health/ranger services)	■	■	■	■	→
	4.1.1.4	Continue to utilise technological developments to enhance efficiencies	■	■	■	■	→
	4.1.1.5	Continue to develop shared service provision	■	■	■	■	→
	4.1.1.6	Support and provide training and development opportunities for Elected Members and staff	■	■	■	■	→
Continue to enhance communication and transparency	4.1.2.1	Promote participation of community stakeholders	■	■	■	■	→
	4.1.2.2	Utilise diverse communication channels	■	■	■	■	→
	4.1.2.3	Build increased awareness of Shire operations and services	■	■	■	■	→
	4.1.2.4	Encourage community interest in Local Government Elected Member leadership	■	■	■	■	→

Strategy	Action No.	Actions	2024-25	2025-26	2026-27	2027-28	2028 Onwards
Provide a positive, desirable workplace	4.2.1.1	Provide an attractive and safe work environment	■	■	■	■	→
	4.2.1.2	Maintain a positive work culture and teamwork	■	■	■	■	→

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Measuring Success

The intended outcome of this Plan is to align the community's visions and aspirations for the future of the Shire of Narrogin to the Shire's objectives. Success will be measured by both quantifiable and non-quantifiable outcomes.

Key performance measures provide an indication of whether the Shire is meeting the objectives and will be monitored and reported. The measures for each objective are provided in the table below.

	Objectives	Key Performance Measures
ECONOMIC	<i>Support growth and progress, locally and regionally</i>	<ul style="list-style-type: none"> Population statistics No. of development approvals Assessed vacancy rates (business and residential) No. of building approvals
SOCIAL	<i>To provide community facilities and promote social interaction</i>	<ul style="list-style-type: none"> Social media activity Community participation levels in recreation activities and events Recreation Centre usage rates Reduction in anti-social behaviour
ENVIRONMENT	<i>Conserve, protect and enhance our natural and built environment</i>	<ul style="list-style-type: none"> Statutory asset management ratios Compliance with statutory reviews required by the Local Planning Framework Compliance with statutory requirements for the review of the Municipal Heritage Inventory
CIVIC LEADERSHIP	<i>Continually enhance the Shire's organisational capacity to service the needs of a growing community</i>	<ul style="list-style-type: none"> Statutory financial ratios Employee retention rates Volunteer levels

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Services and Facilities

Services and facilities provided by the Shire are linked with the relevant strategy of the Strategic Community Plan in the following table. The table reflects the strong connection between the services and facilities provided by the Shire and the desired outcomes and community vision.

Services/Facilities	Associated Strategic Reference	Services/Facilities	Associated Strategic Reference
Community Facilities		Shire Services	
Caravan park	1.2.1 3.4.1	Building control	4.1.1
Children's playgrounds	2.3.4 3.4.1	Community consultation & engagement	2.4.2 4.1.2
Gnarojin park	1.2.1 2.3.4 3.4.1	Council's customer service & payments	4.1.1
Library	2.3.4 3.4.1	Economic development	1.1.1 1.1.2 1.1.3 1.2.1 1.4.1 3.1.1
Narrogin Regional Leisure Centre	1.1.2 1.2.1 2.3.1 3.4.1	Environmental initiatives	3.1.1 3.2.1 3.3.1
Outdoor gym	2.3.1 2.3.4	Festival & event management	2.3.3
Parks, gardens & ovals	2.3.4 3.4.1	Financial management	4.1.1
Public toilets	2.3.4 3.4.1	Fire control & emergency management	2.3.2 3.1.1
Reserves & public open spaces	1.2.1 3.1.1	Governance & advocacy	1.1.1 1.1.3 2.2.1 2.2.2 2.2.3 2.3.2 2.4.1 2.4.2 3.1.1 4.1.1 4.1.2 4.2.1
Skate park	2.1.1 2.3.1 2.3.4	Health administration, inspection & education	4.1.1
Sport & recreation facilities	2.3.1 2.3.4	Household waste and recycling	3.2.1
Town hall complex	2.3.4 3.4.1	Litter Control	1.2.1 3.2.1
		Long term planning	4.1.1
Community Support & Services		Maintenance - other infrastructure	3.4.1
Aged care & home-care	1.1.3 2.2.3	Maintenance - roads	1.3.1 3.4.1
Arts & culture	1.1.2 1.2.1 2.3.2 2.3.3 2.3.5 2.4.2	Natural resource management	3.1.1
Community Assisted Transport Service	1.1.3	Parking control	1.1.2
Crime prevention	2.2.1	Pest control	3.1.1 4.1.1
Disability services	1.1.3 2.2.2	Ranger and animal services	4.1.1
Sport & recreation club development	2.3.1 2.3.2 2.3.3 2.3.5	Refuse site	3.2.1
		Regional collaboration	1.1.1 1.1.2 1.4.1
Infrastructure		Streetscape and gardens	1.2.1 2.3.4 3.4.1
Airport	1.3.2	Tourism	1.2.1
CBD infrastructure (footpaths, seating, etc.)	1.2.1 3.4.1	Town planning	1.4.1 3.4.1
CBD street lighting	3.4.1	Transport, licensing & coach ticketing	4.1.1
Cemetery	3.4.1		
Drainage & storm water	1.3.1		
Roads, verges & footpaths	1.3.1 3.4.1		

For further details on the Corporate Business Plan please contact

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10.4 OFFICE OF THE CHIEF EXECUTIVE OFFICER

NIL

There are no reports requiring a Council decision for the current month.

11. ELECTED MEMBERS' MOTIONS OF WHICH PREVIOUS NOTICE HAS BEEN GIVEN

Nil

12. NEW BUSINESS OF AN URGENT NATURE APPROVED BY THE PERSON PRESIDING OR BY DECISION OF THE MEETING

13. CLOSURE OF MEETING

There being no further business to discuss, the Presiding Member declared the meeting closed at ____ pm and pursuant to resolution 251023.07 of 25 October 2023, reminded Councillors of the next Ordinary Meeting of the Council, scheduled for 7.00 pm on 24 July 2024, at this same venue.



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